

PROJECT DATA

ADDRESS:
1972 Carter Lane, Gunter, Tx, 75078

LEGAL DESCRIPTION:
LOT NUMBER : 23
LOT AREA - 44,000 SQ FT
CONSTRUCTION TYPE - V-B
ZONE - R-1-10 SS (RESIDENTIAL)
OCCUPANCY R (RESIDENTIAL) / U (GARAGE)

ZONING:
SETBACKS: FRONT (50FT), SIDE (30FT), REAR (230FT)

BUILDING HEIGHT: NO CHANGE

Total Square Footage	
Name	Area
1. First Floor Heated Area	4861 SF
2. Second Floor Heated Area	2546 SF
3. Garage	1067 SF
4. Porch	73 SF
5. Covered Patio	952 SF
Total Area	9498 SF
Total Heated Area	7367 SF

PROJECT DIRECTORY

DESIGNER	OWNER
RA DESIGN & ENGINEERING AL-AMIN HOSSAIN PHONE: +8801790938850 EMAIL: alaminhossain536@gmail.com	

SCOPE OF PROJECT

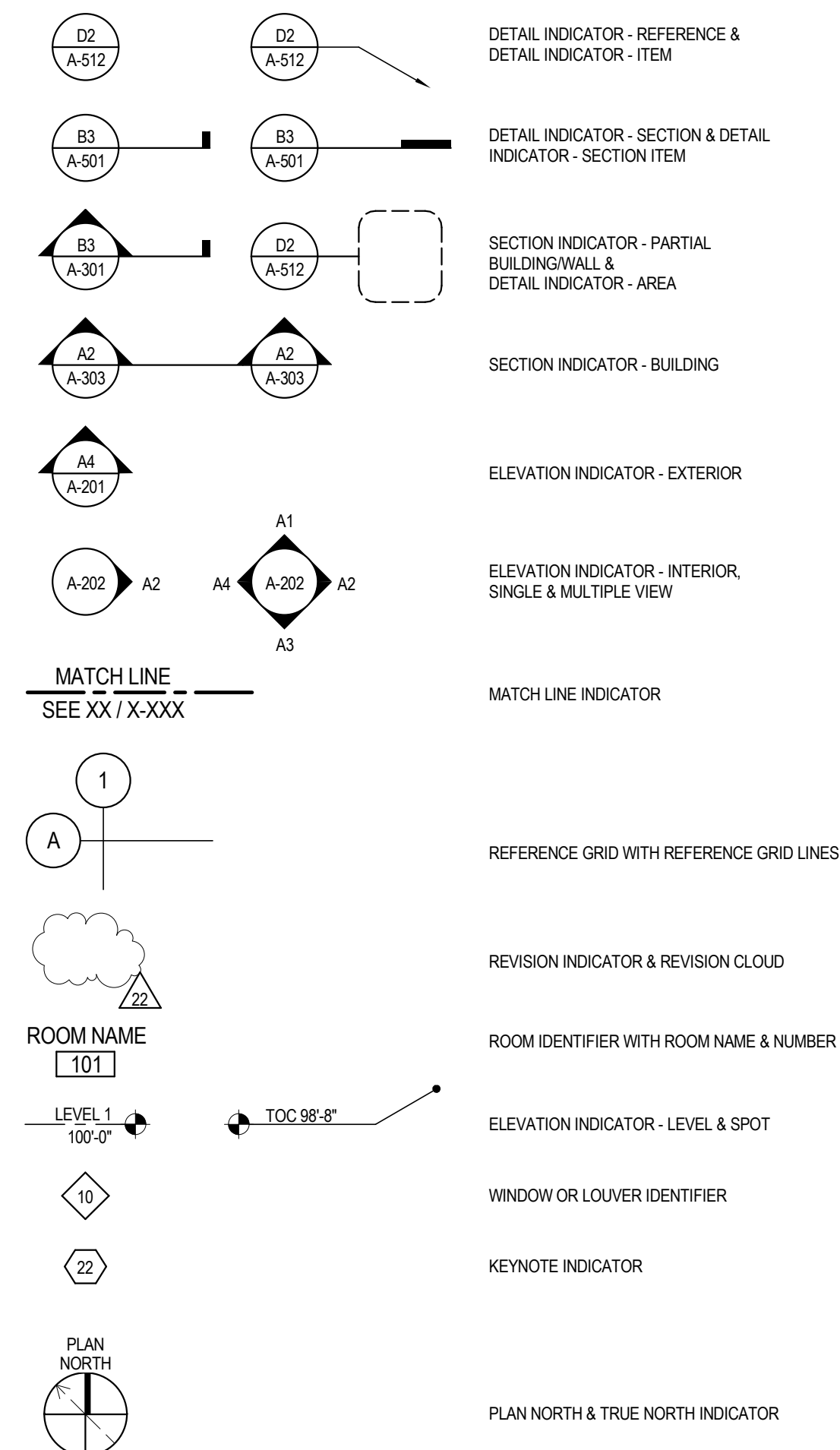
NEW CONSTRUCTION DRAWINGS

BUILDING CODE:

THESE PLANS ARE DRAWN AND REFERENCES TO:

- 2008 NATIONAL GREEN BUILDING STANDARD (NGBS) WITH 2011 AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WITH 2020 SUPPLEMENTS & AMENDMENTS
- 2017 EDITION OF THE NATIONAL ELECTRICAL CODE
- 2018 INTERNATIONAL BUILDING CODE (IBC) WITH 2020 AMENDMENTS
- 2018 INTERNATIONAL FIRE CODE (IFC)
- 2018 INTERNATIONAL FUEL GAS CODE (IFGC) WITH 2020 AMENDMENTS
- 2018 INTERNATIONAL GREEN CONSTRUCTION CODE
- 2018 INTERNATIONAL MECHANICAL CODE (IMC) WITH 2020 AMENDMENTS
- 2018 INTERNATIONAL PERFORMANCE CODE FOR BUILDINGS AND FACILITIES
- 2018 INTERNATIONAL PLUMBING CODE (IPC) WITH 2020 AMENDMENTS
- 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) FOR ONE- AND TWO-FAMILY DWELLINGS, WITH 2020 AMENDMENTS

ARCHITECTURAL SYMBOLS LEGEND

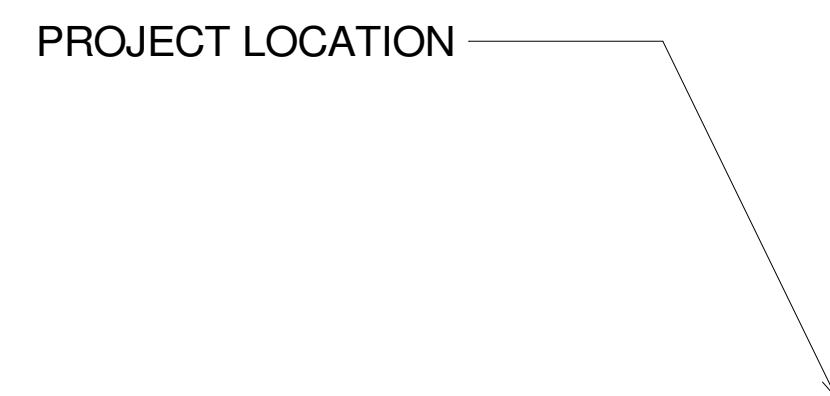


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SEAN BABALOLA RESIDENCE

1972 Carter Lane, Gunter, Tx, 75078

VICINITY MAP



1 3D VIEW FRONT



2 3D VIEW REAR

GENERAL NOTES:

MINIMUM INSULATION VALUES:
A. R-21 EXTERIOR WALLS (BATTS OR CLOSED CELL FOAM)
B. R-49 ROOF AREAS (BLOWN/BATTS/ OR CLOSED CELL FOAM)
C. R-49 CATHEDRAL ROOF AREAS (BLOWN/BATTS/ OR CLOSED CELL FOAM)
D. R-30 CANTILEVERS AND FLOOR OVER
E. R-16 CRAWL WALLS (RIGID INSULATION)

WHERE NECESSARY OR AS DIRECTED BY CONTRACTOR, PROVIDE EXTRUDED POLYSTYRENE IN LIEU OF BATT INSULATION, BEHIND, BENEATH, OR ADJACENT TO PLUMBING, MECHANICAL, AND ELECTRICAL SUPPLIES, RETURNS, AND OTHER DISTRIBUTION LINES AND FIXTURES TO ENSURE MINIMUM INSULATION VALUES ARE STRICTLY ADHERED TO IN ALL LOCATIONS. IN ALL INACCESSIBLE OR ENCLOSED AREAS OR AREAS THAT MAY BE INACCESSIBLE OR MAY BE ENCLOSED, PLACE EXTRUDED POLYSTYRENE INSULATION IMMEDIATELY PRIOR TO PLACING THE PLUMBING, MECHANICAL, AND ELECTRICAL RUNS.

INSULATE ALL CANTILEVERED FLOORS WITH BATT INSULATION AND SHEATH UNDERSIDE WITH HARDBOARD OVER APPROVED VAPOR BARRIER.

SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE EQUIPPED WITH CONTROL VALVES OF THE PRESSURE BALANCE, THE THERMOSTATIC MIXING OR THE COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPES WITH HIGH LIMIT STOPS IN ACCORDANCE WITH ASSE/ANSI 1016 OR CSA B125. THE HIGH LIMIT STOPS SHALL BE SET TO LIMIT WATER TEMPERATURE TO A MAXIMUM 120F PER 2021 IRC SEC. P2708.3

CONCRETE TILES AND ASPHALT SHINGLES SHALL HAVE THE MIN. NUMBER OF FASTENERS REQUIRED BY MANUFACTURER.

STAIR CONSTRUCTION
A. 7-3/4" RISERS MAX. (NOT TO VARY MORE THAN 3/8")
B. 10" TREADS MIN.
C. WIDTH - NOT LESS THAN 36" CLEAR
D. HEADROOM - NOT LESS THAN 6'-8" CLEAR TO ALL OBSTRUCTIONS.
E. HANDRAILS - BETWEEN 34" TO 36" A.F.F. DIMENSION SHOULD BE BETWEEN 1 1/2" - 2" DIAMETER, W/ INTERMEDIATE BALUSTERS/RAILS PER "G" BELOW.
F. GUARDRAILS - NOT LESS THAN 36" A.F.F. AND BALLUSTERS CONSTRUCTED SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH (EXCEPT WHERE AT THE OPEN SIDE OF A STAIR, +34" - +38", SEE "G" FOR BALUSTERS).
G. INTERMEDIATE BALUSTERS/RAILS SHALL BE CONSTRUCTED SUCH THAT A SPHERE 4-3/8" IN DIAMETER CANNOT PASS THROUGH, EXCEPT AT TRIANGULAR AREAS FORMED BY A RISER AT THE BOTTOM OF A GUARD, SPHERE 6" IN DIAMETER CANNOT PASS THROUGH.
H. INTERMEDIATE LANDING MUST EQUAL STAIR WIDTH WHERE STAIR RUN CHANGES DIRECTION.

PROVIDE 36" MINIMUM CLEAR SPACE FOR ALL LANDINGS @ EXTERIOR DOORS.

ANY STAIR WITH ENCLOSED USABLE SPACE UNDERNEATH SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD

MINIMUM CORRIDOR WIDTH IS TO BE 36" CLEAR.

PROVIDE FLOOR, WALL, ROOF AND FIRE BLOCKING PER R302.11 & R302.12

FIRESTOP ALL POCKET DOORS AND FLUES PER R302.11 & R302.12

SMOKE DETECTORS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PER CODE. LINK THE AUDIO SIGNAL TO ALL UNITS.

IN BATHROOMS CONTAINING A BATHTUB OR SHOWER OR COMBINATION THEREOF, LAUNDRY ROOMS AND SIMILAR ROOMS THAT DO NOT HAVE ACCESS TO NATURAL VENTILATION, A MECHANICAL VENTILATION SYSTEM CONNECTED DIRECTLY TO THE OUTSIDE IS TO BE PROVIDED.

IN BATHROOMS THAT ONLY CONTAIN A WTER CLOSET OR LAVATORY OR COMBINATION THEREOF AND SIMILAR ROOMS THAT DO NOT HAVE NATURAL VENTILATION, A MECHANICAL RECIRCULATING FAN IS TO BE PROVIDED.

WHERE RECESSED LIGHT FIXTURES ARE ADJACENT TO COMBUSTIBLE INSULATION, PROVIDE CLEARANCES PER CODE.

SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE EGRESS WINDOW FOR EMERGENCY ESCAPE IN ACCORDANCE WITH I.R.C. REQUIREMENTS.

ALL WINDOWS ARE TO BE WEATHER-STRIPPED AND DOUBLE GLAZED. FRAME MATERIAL PER GC.

ALL EXTERIOR DOORS AND WINDOWS LEADING TO UNHEATED AREAS, ABOVE GRADE, ARE TO BE WEATHER STRIPPED.

GALVANIZED DOWNSPOUTS TO HAVE 5'-0" ADJUSTABLE EXTENDERS OR PER LOCAL CODES. DISTANCE FROM END OF EXTENDER TO ADJACENT PROPERTY LINE SHOULD BE 3-5 FEET. EXTENDERS SHOULD BE 4" IN DIAMETER OR EQUIVALENT. PROVIDE EXTENDERS UNLESS OTHERWISE NOTED AS SPLASHBLOCKS ON SITE PLAN, THEN PROVIDE SPLASHBLOCKS ONLY.

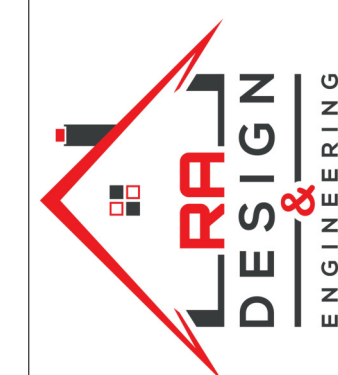
PROVIDE THERMOPLY OR APPROVED EQUIVALENT AIR BARRIER AT VERTICAL EXTERIOR (COLD) SIDES OF ALL TUB ENCLOSURES, BUILT-INS, BETWEEN JOISTS/RIM BOARDS, AND TRUSS STEPS, ALL BATT INSULATION SHALL HAVE FULL ENCLOSURE, EXCEPT ATTICS.

ALL EXTERIOR OPENINGS OR WALL PENETRATIONS EXPOSED TO WEATHER ARE TO BE FLASHED AND FILLED WITH SEALANT TO PREVENT MOISTURE AND AIR INFILTRATION. PROVIDE ALL FLASHING AND COUNTER FLASHING ITEMS AS INDICATED AND AS REQUIRED TO MAKE COMPLETED WORK WATERPROOF. FLASHING SHALL BE BRAKE FORMED TO SHARP LINES AND FITTED TO DETAILS. FLASH AND COUNTERFLASH AT ALL ROOF TO WALL CONDITIONS. G.I. FLASH AND CAULK WOOD BEAMS AND LOOKOUTS PROJECTING THROUGH EXTERIOR WALLS OR ROOF SURFACES. FLASH ALL EXTERIOR DOOR AND WINDOW OPENINGS WITH MANUFACTURER'S APPROVED METHODS AND MATERIALS WHICH CONFORMS TO STANDARDS OF LOCAL AND APPLICABLE CODES.

PROVIDE DAM PROOFING OF ALL FOUNDATIONS PER SOILS REPORT AND/OR IRC SPECIFICATIONS.

SLOPE ALL CONCRETE EXTERIOR FLATWORK 1/4" PER FOOT (MIN) AWAY FROM THE STRUCTURE TO PROVIDE PROPER DRAINAGE.

T.O. FOUNDATION ELEVATIONS FOR HOUSE SHALL BE VERIFIED IN FIELD BY G.C. PRIOR TO CONCRETE POUR. SET T.O. FOUNDATION SO THAT FINISH GRADE CAN SLOPE AWAY @ 10% FOR 10 FEET FROM FOUNDATION OR TO PROPERTY LINE, OR PER SOILS REPORT. VERIFY THAT EXTERIOR MATERIALS OTHER THAN MASONRY/CONCRETE WILL BE 8" ABOVE FINISH GRADE, OR PER LOCAL CODES. WHERE CONCRETE PORCH, PATIO, OR DRIVE IS LESS THAN 8" BELOW T.O. FOUNDATION, PROVIDE FLASHING/WATERPROOFING PER CODE. SITE PLAN IS PROVIDED FOR COMPLIANCE WITH ZONING ORDINANCES ONLY. GC IS SOLELY RESPONSIBLE FOR SITE DRAINAGE.



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
COVER SHEET

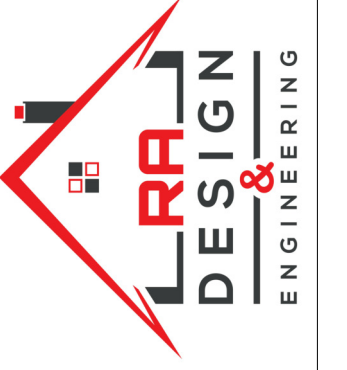
DESIGN BUILD CONTRACTOR:

PROJECT DETAILS:
Sean Babalola Residence
1972 Carter Lane, Gunter, Tx, 75078

DRAWN BY:
SA
CHECKED BY:
SA

DATE
03/02/2024
SCALE
As indicated
SHEET

A-0.0



NO.	DESCRIPTION	BY	DATE

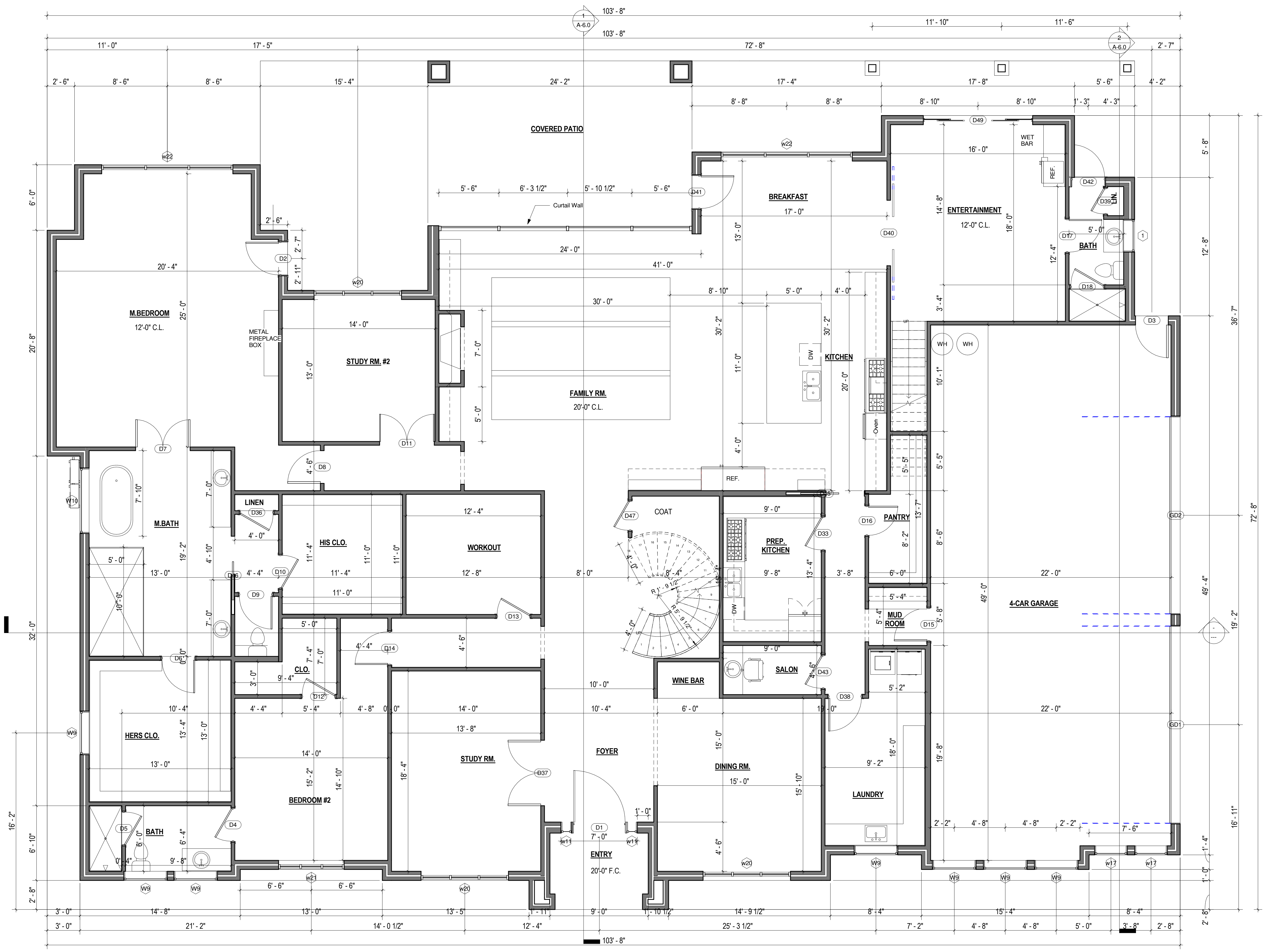
SHEET TITLE:
**FIRST FLOOR
PLAN**

DESIGN BUILD CONTRACTOR:

PROJECT DETAILS:
Sean Babalola Residence
1972 Carter Lane, Gunter, Tx, 75078

DRAWN BY:	SA
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DATE	03/02/2024
SCALE	1/4" = 1'-0"
SHEET	

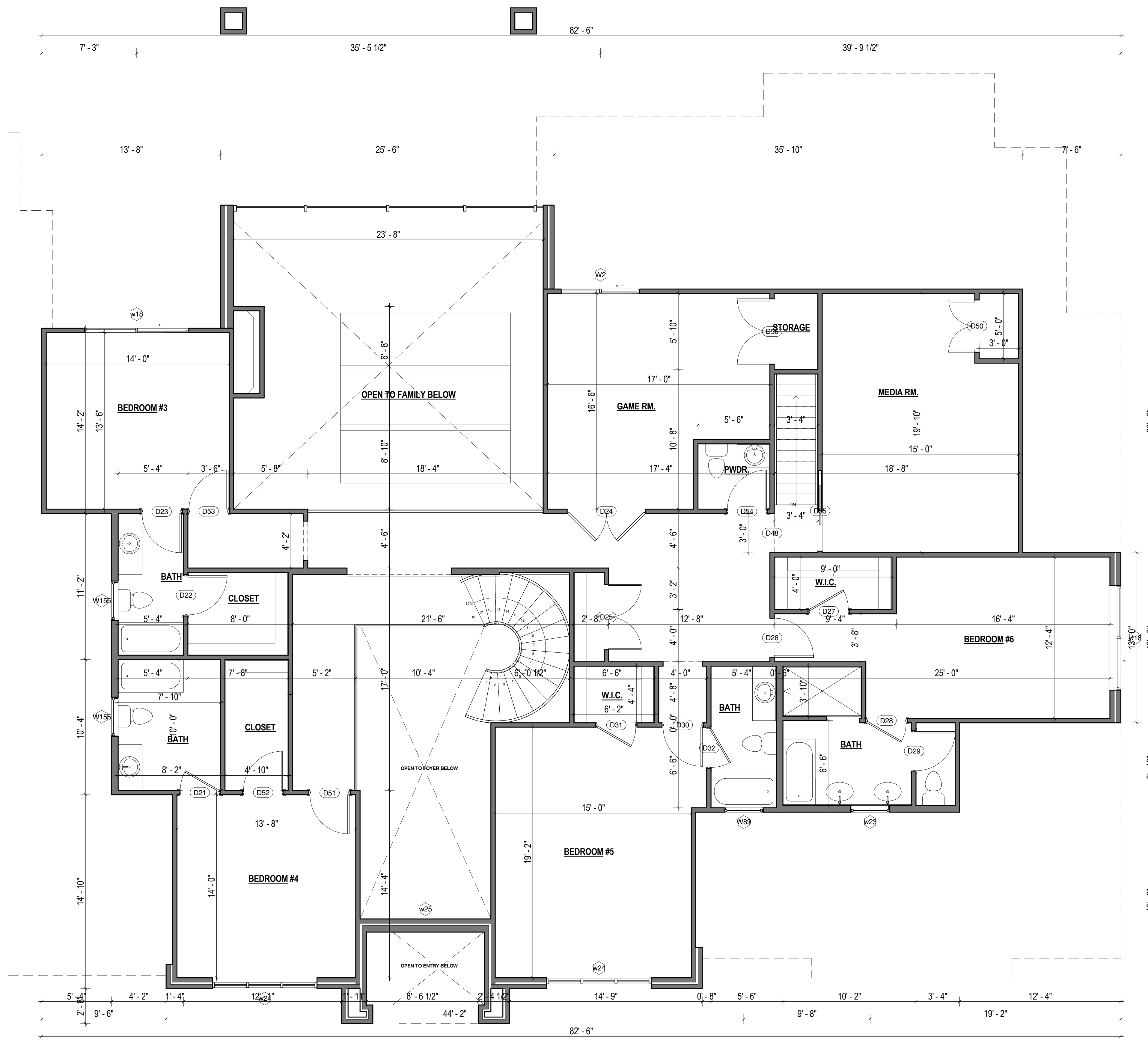
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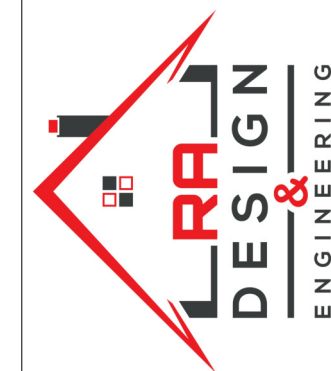
① First Floor Level
1/4" = 1'-0"

Door Schedule				
Mark	Width	Height	Count	Description
D1	5'-0"	10'-0"	1	
D2	3'-0"	8'-0"	1	
D3	3'-0"	8'-0"	1	
D4	3'-0"	8'-0"	1	
D5	3'-0"	8'-0"	1	
D6	3'-0"	8'-0"	1	
D7	5'-0"	8'-0"	1	
D8	3'-0"	8'-0"	1	
D9	3'-0"	8'-0"	1	
D10	3'-0"	8'-0"	1	
D11	5'-0"	8'-0"	1	
D12	3'-0"	8'-0"	1	
D13	3'-0"	8'-0"	1	
D14	3'-0"	8'-0"	1	
D15	3'-0"	8'-0"	1	
D16	2'-8"	8'-0"	1	
D17	3'-0"	8'-0"	1	
D18	3'-0"	8'-0"	1	
D21	3'-0"	8'-0"	1	
D22	3'-0"	8'-0"	1	
D23	3'-0"	8'-0"	1	
D24	6'-0"	8'-0"	1	
D25	5'-0"	8'-0"	1	
D26	3'-0"	8'-0"	1	
D27	3'-0"	8'-0"	1	
D28	3'-0"	8'-0"	1	
D29	3'-0"	8'-0"	1	
D30	3'-0"	8'-0"	1	
D31	3'-0"	8'-0"	1	
D32	3'-0"	8'-0"	1	
D33	3'-0"	8'-0"	1	
D36	3'-0"	8'-0"	1	
D37	6'-0"	8'-0"	1	
D38	3'-0"	8'-0"	1	
D39	2'-4"	8'-0"	1	
D40	6'-0"	8'-0"	1	
D41	3'-0"	8'-0"	1	
D42	3'-0"	8'-0"	1	
D43	3'-0"	8'-0"	1	
D45	3'-6"	8'-0"	1	
D46	3'-6"	8'-0"	1	
D47	2'-8"	8'-0"	1	
D48	0'-0"	0'-0"	1	
D49	10'-0"	8'-0"	1	
D50	4'-0"	8'-0"	1	
D51	3'-0"	8'-0"	1	
D52	3'-0"	8'-0"	1	
D53	3'-0"	8'-0"	1	
D54	3'-0"	8'-0"	1	
D55	3'-0"	8'-0"	1	
D56	5'-0"	8'-0"	1	
GD1	18'-0"	8'-0"	1	GARAGE DOOR
GD2	18'-0"	8'-0"	1	GARAGE DOOR

Window Schedule				
Type Mark	Width	Height	Count	Description
1	3'-0"	4'-0"	1	
W2	6'-0"	6'-0"	1	DOUBLE SLIDING
W9	4'-0"	6'-0"	7	FIXED GLASS
W10	6'-0"	6'-0"	1	FIXED GLASS
w11	1'-0"	10'-0"	2	
w17	3'-0"	6'-0"	2	
w18	8'-0"	6'-0"	2	DOUBLE SLIDING
w20	8'-0"	8'-0"	3	
w21	6'-0"	6'-0"	1	
w22	12'-0"	8'-0"	2	
w23	3'-0"	3'-0"	1	
w24	8'-0"	8'-0"	2	
w25	7'-0"	6'-0"	1	
W89	3'-0"	4'-0"	1	
W155	3'-0"	4'-0"	2	
W163	4'-0"	1'-6"	2	



1 Second Floor Level
1/4" = 1'-0"



NO.	DESCRIPTION	BY	DATE

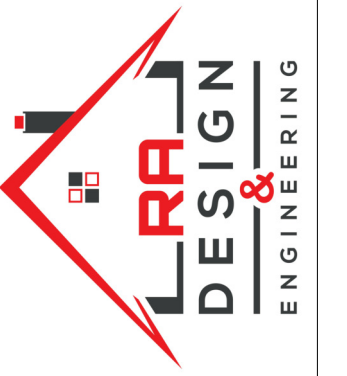
SHEET TITLE:
SECOND FLOOR PLAN

DESIGN BUILD CONTRACTOR:

PROJECT DETAILS:
Sean Babalola Residence
1972 Carter Lane, Gunter, Tx, 75078

DRAWN BY:	SA
CHECKED BY:	SA
DATE	03/02/2024
SCALE	1/4" = 1'-0"
SHEET	

A-1.2



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
ELEVATION

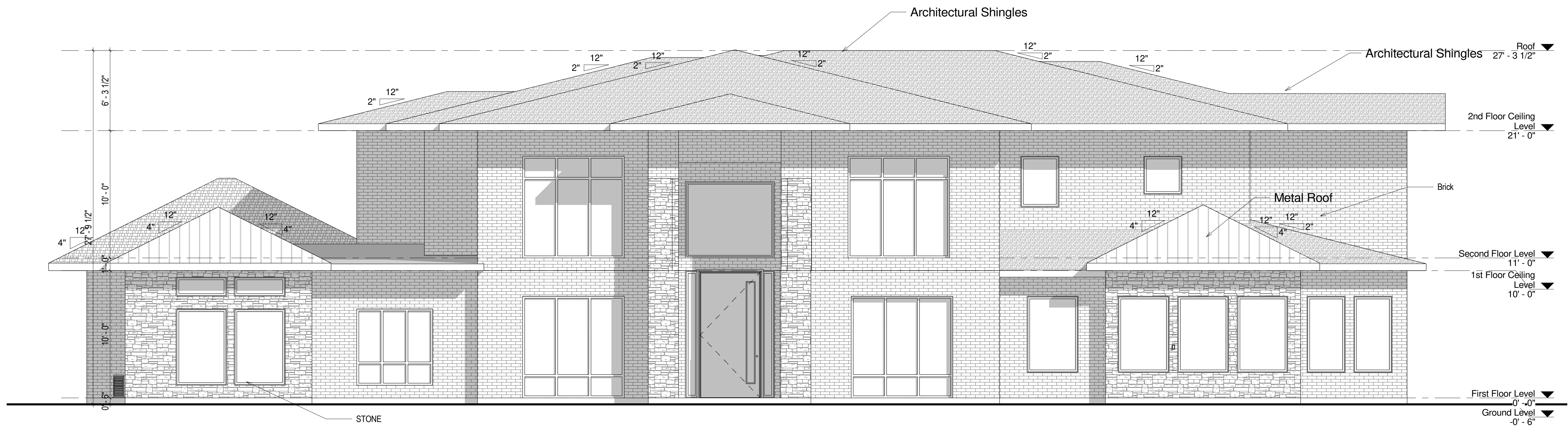
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PROJECT DETAILS:
Sean Babalola Residence
 1972 Carter Lane, Gunter, Tx, 75078

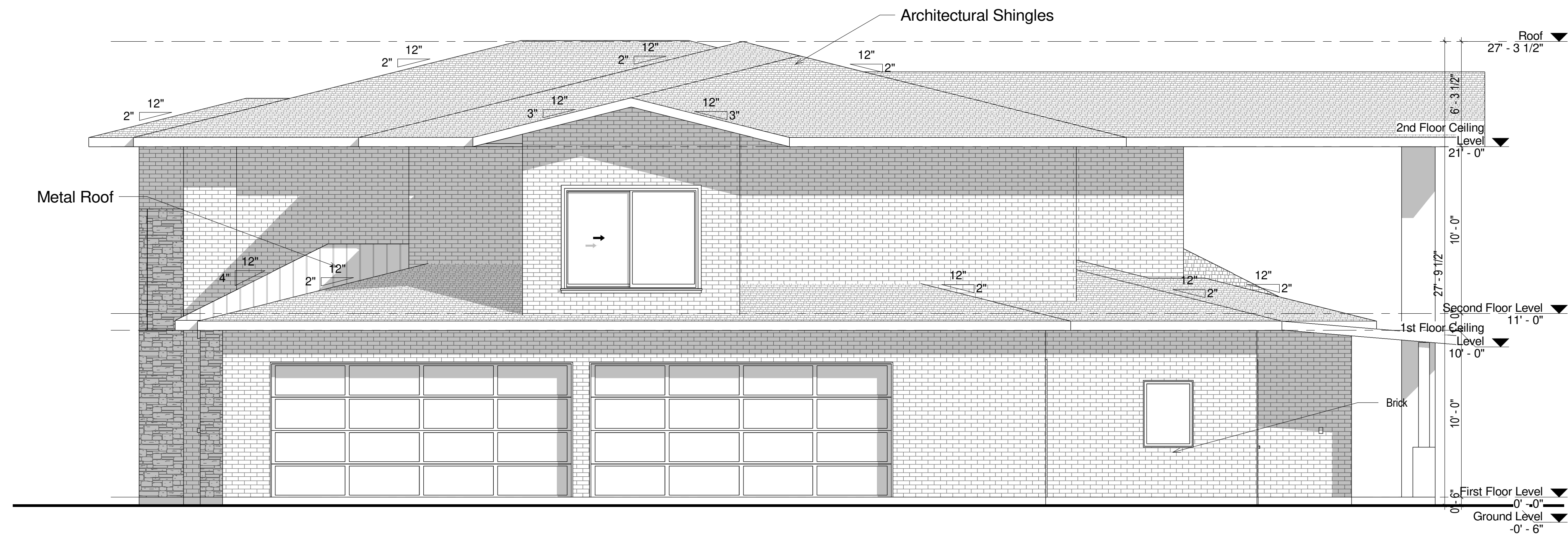
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SA
 CHECKED BY:
SA

DATE
03/02/2024
 SCALE
1/4" = 1'-0"
 SHEET

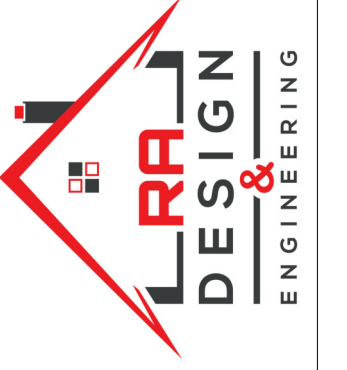
A-4.0



① FRONT ELEVATION
1/4" = 1'-0"



② LEFT ELEVATION
1/4" = 1'-0"



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
ELEVATION

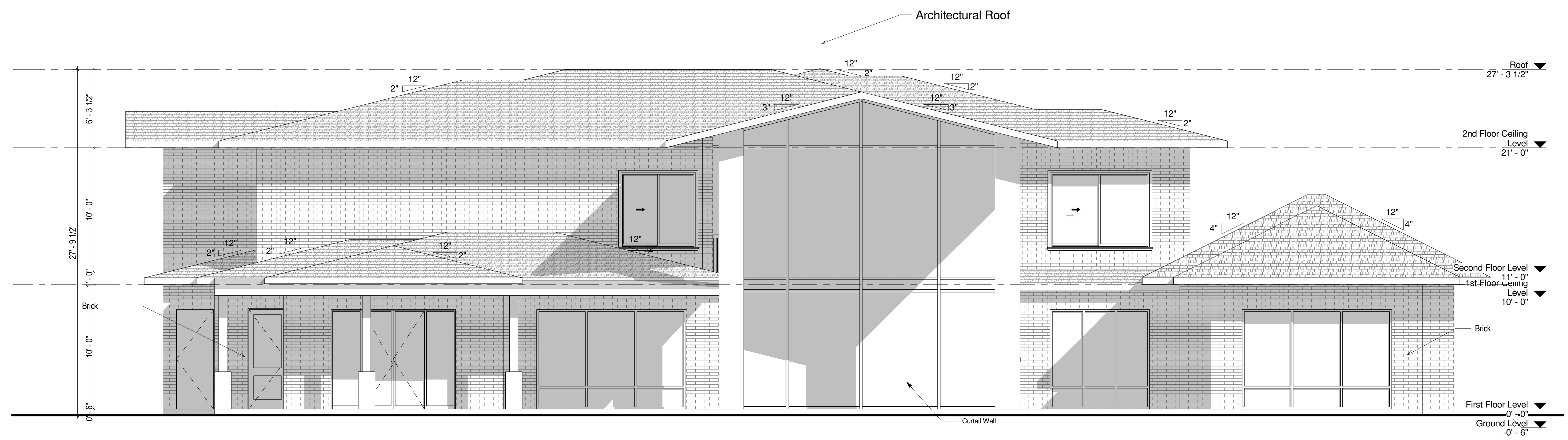
DESIGN BUILD CONTRACTOR:

PROJECT DETAILS:
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 1972 Carter Lane, Gunter, Tx, 75078

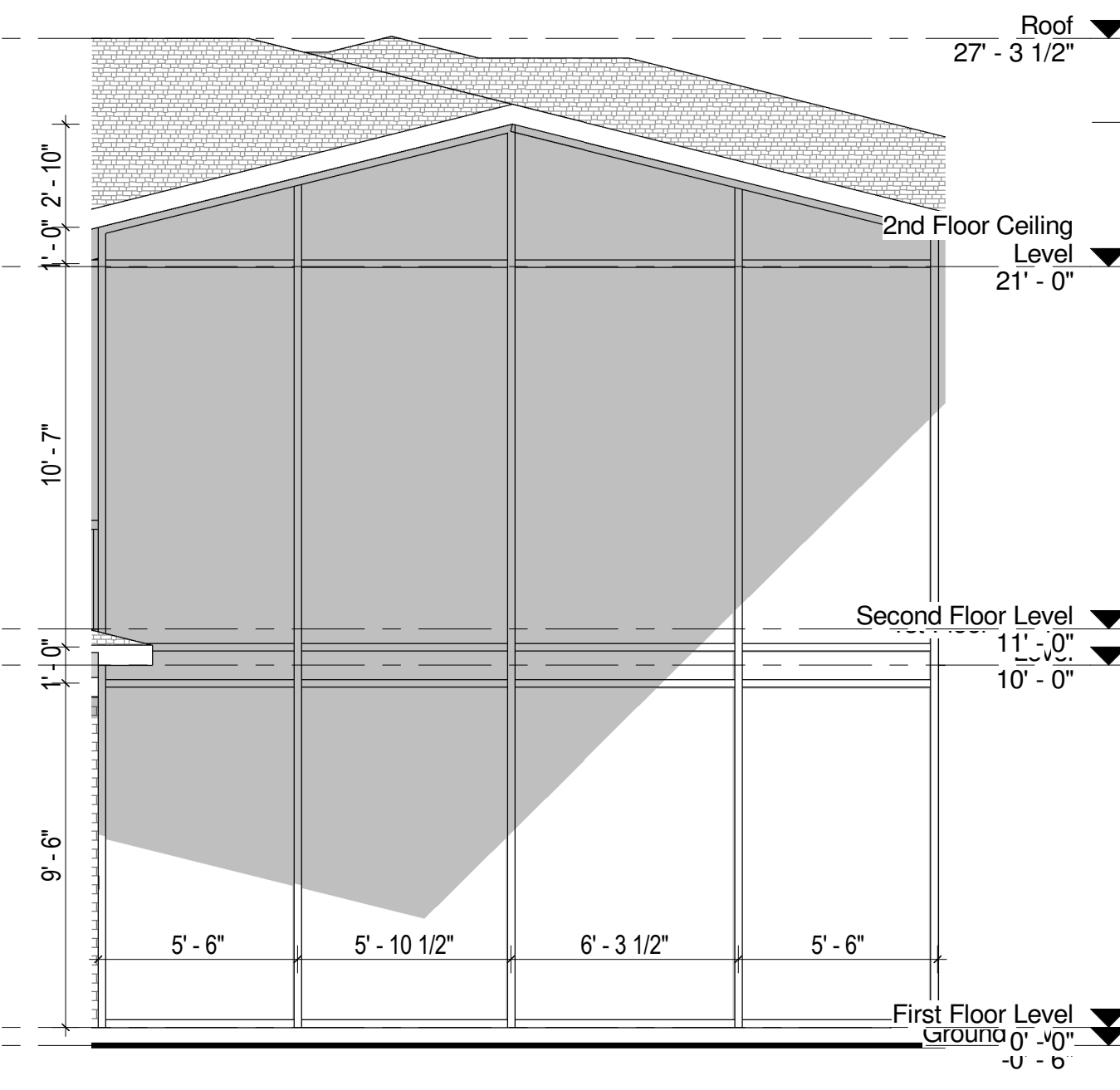
DRAWN BY:
SA
 CHECKED BY:
SA

DATE
03/02/2024
 SCALE
1/4" = 1'-0"
 SHEET

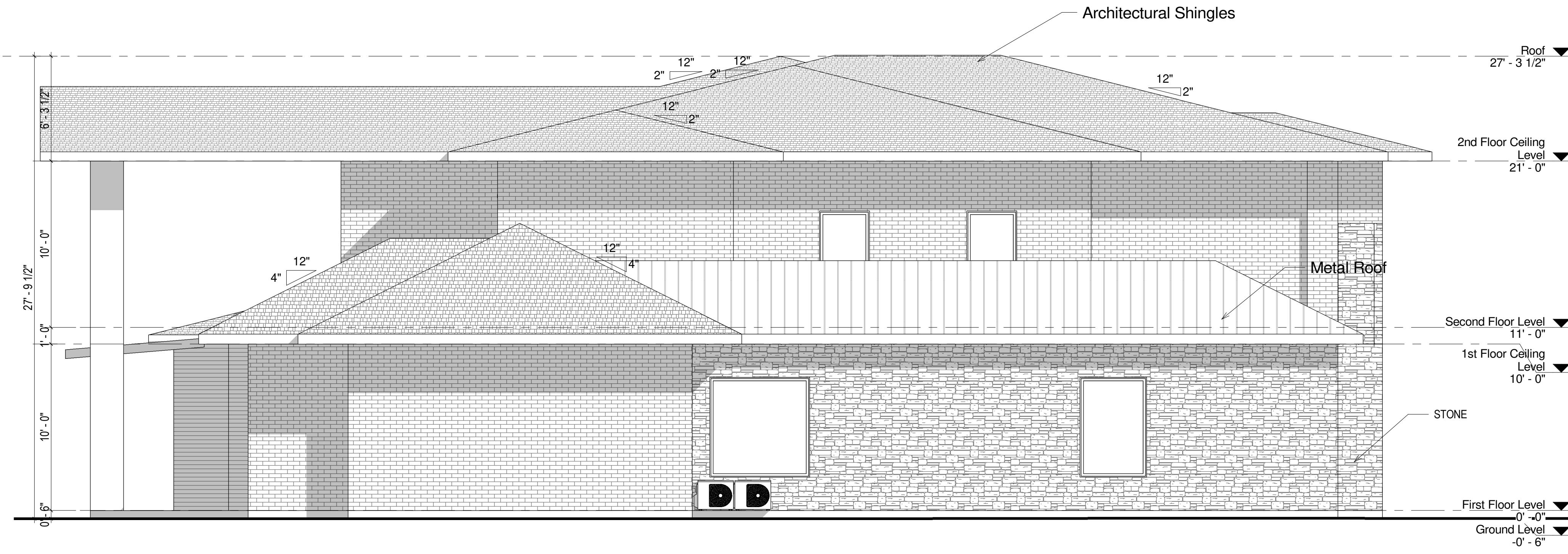
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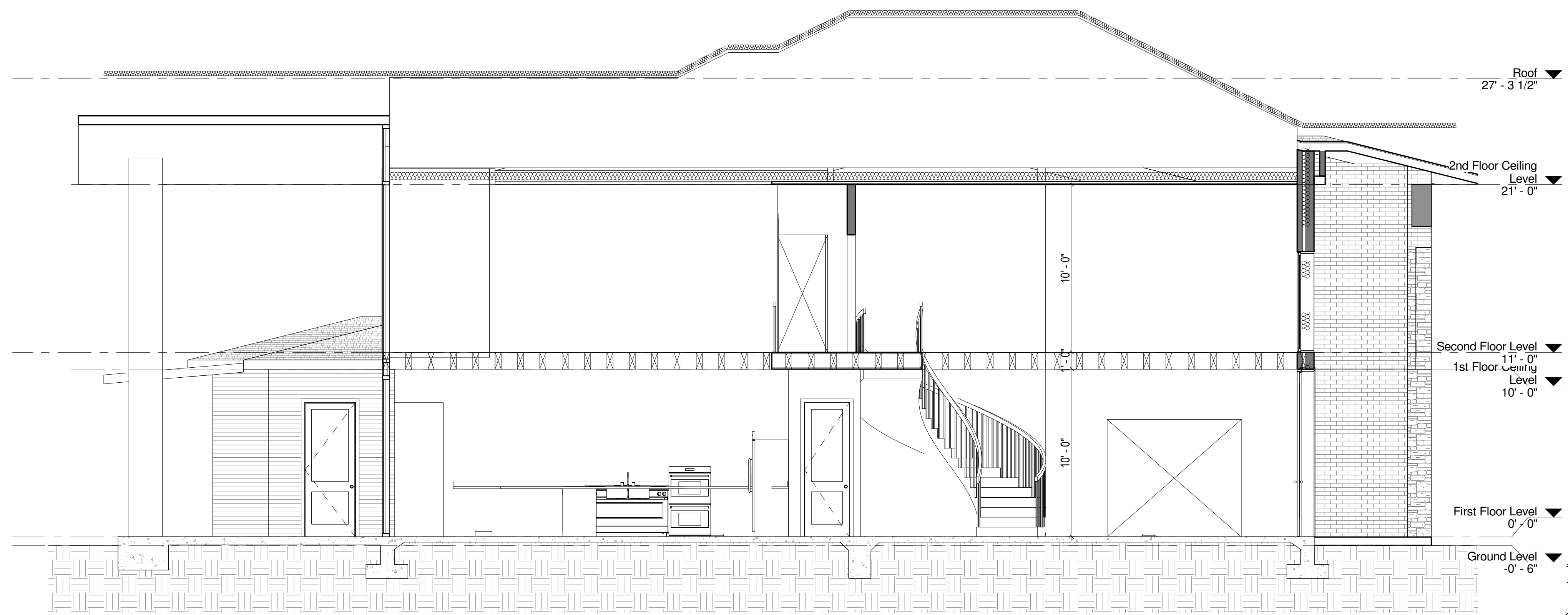
① REAR ELEVATION
1/4" = 1'-0"



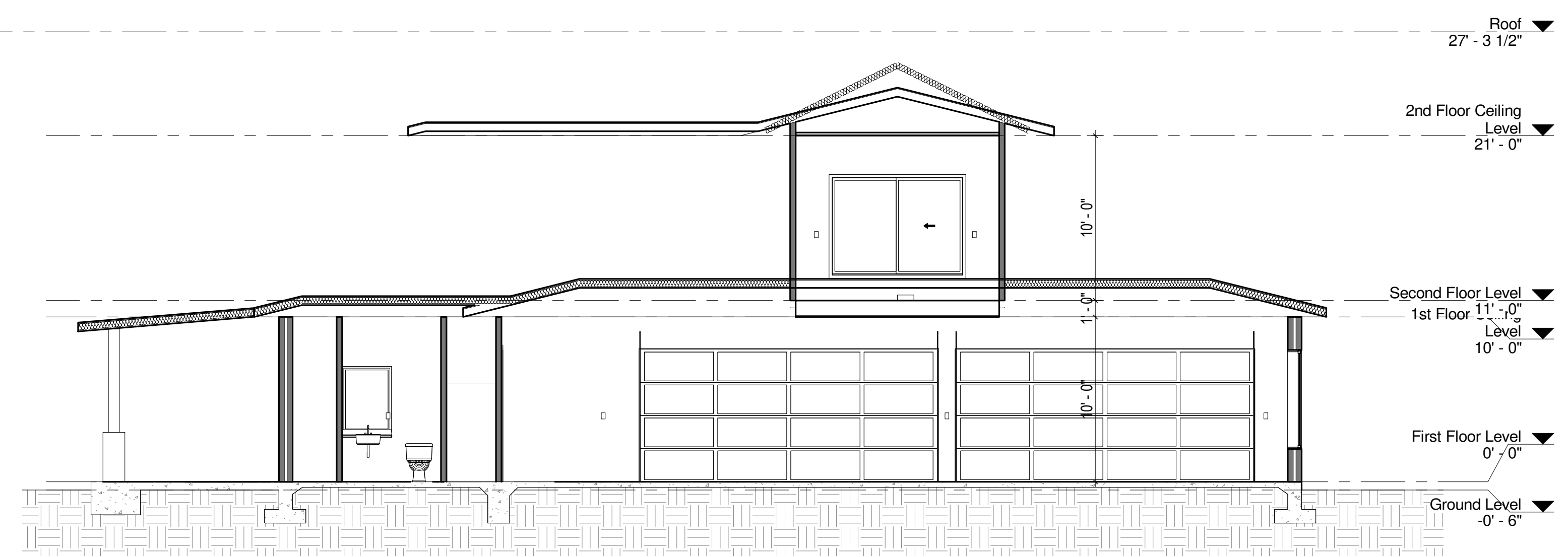
③ Curtain Wall Details
1/4" = 1'-0"



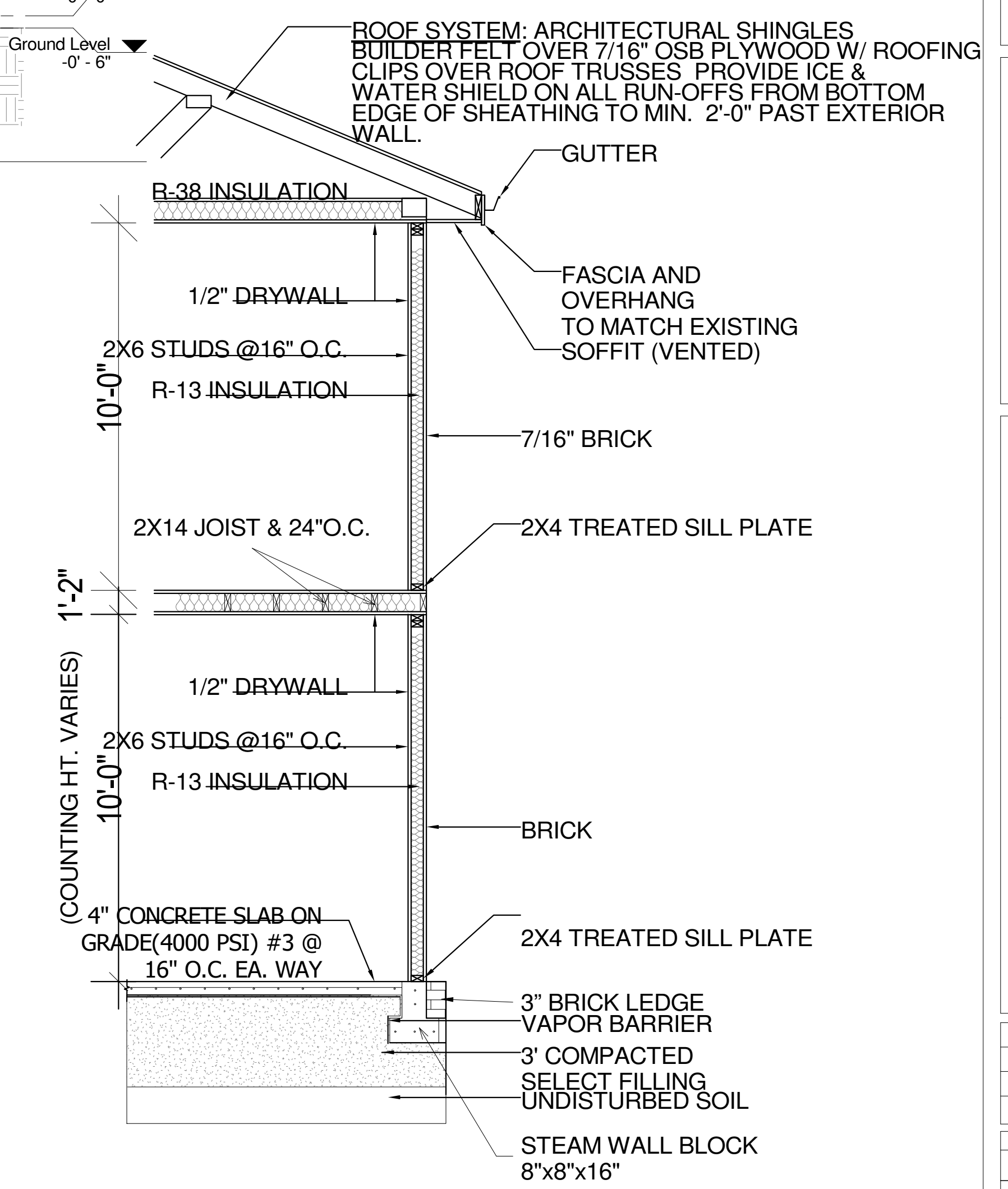
② RIGHT ELEVATION
1/4" = 1'-0"



① Section 3
1/4" = 1'-0"



② Section 2
3/16" = 1'-0"



③ TYPICAL WALL SECTION-2
3/8" = 1'-0"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
BUILDING SECTION-1 & 2

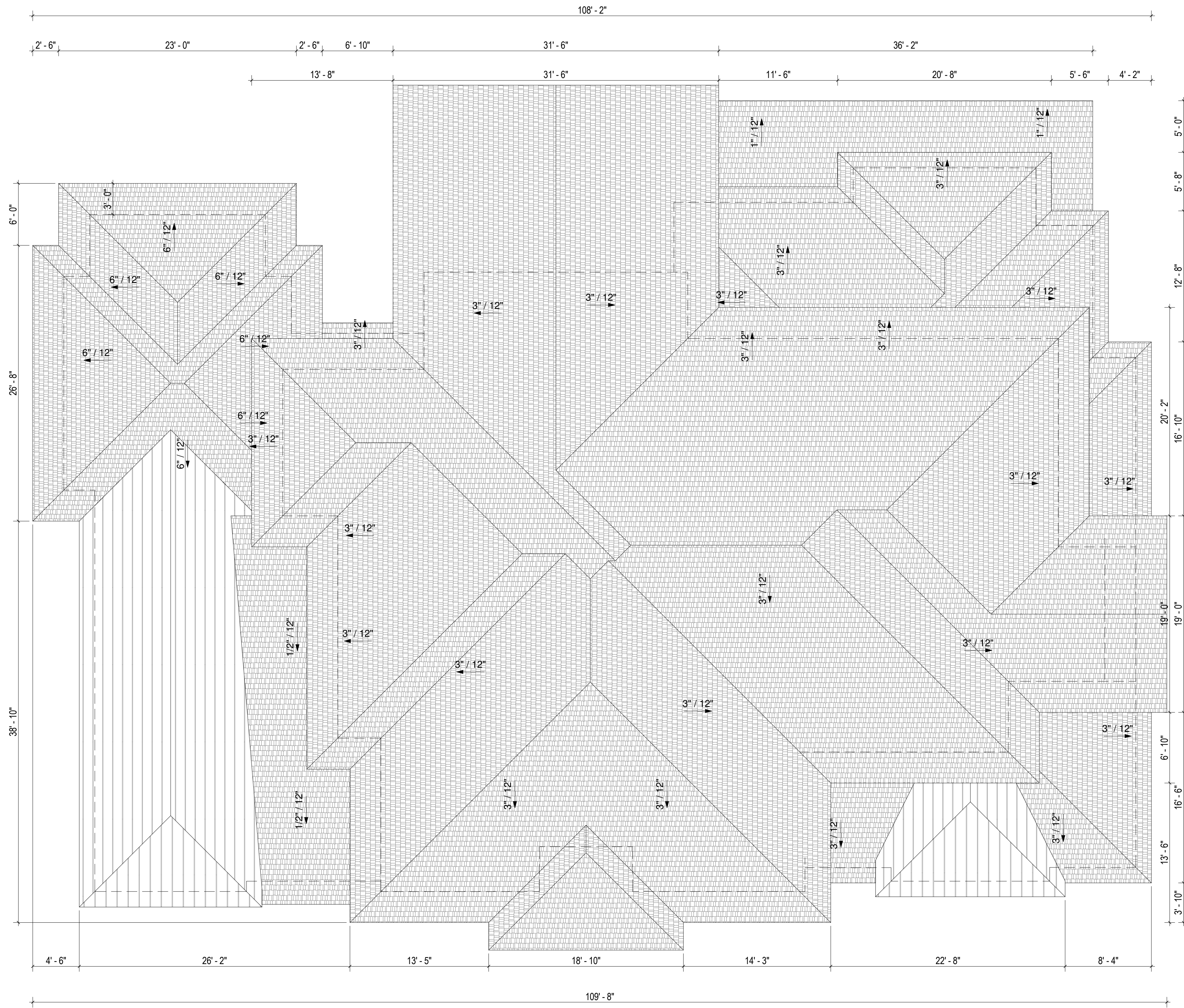
DESIGN BUILD CONTRACTOR:

PROJECT DETAILS:
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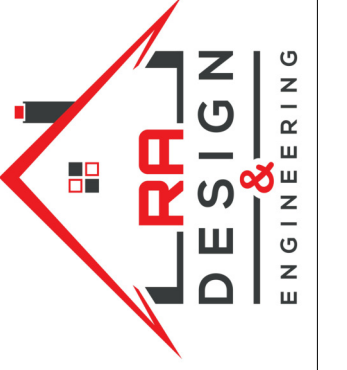
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SA

DATE
03/02/2024
SCALE
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SHEET

A-6.0



① Roof Plan
3/16" = 1'-0"



NO.	DESCRIPTION	BY	DATE

DESIGN BUILD CONTRACTOR:
SHEET TITLE:
ROOF PLAN

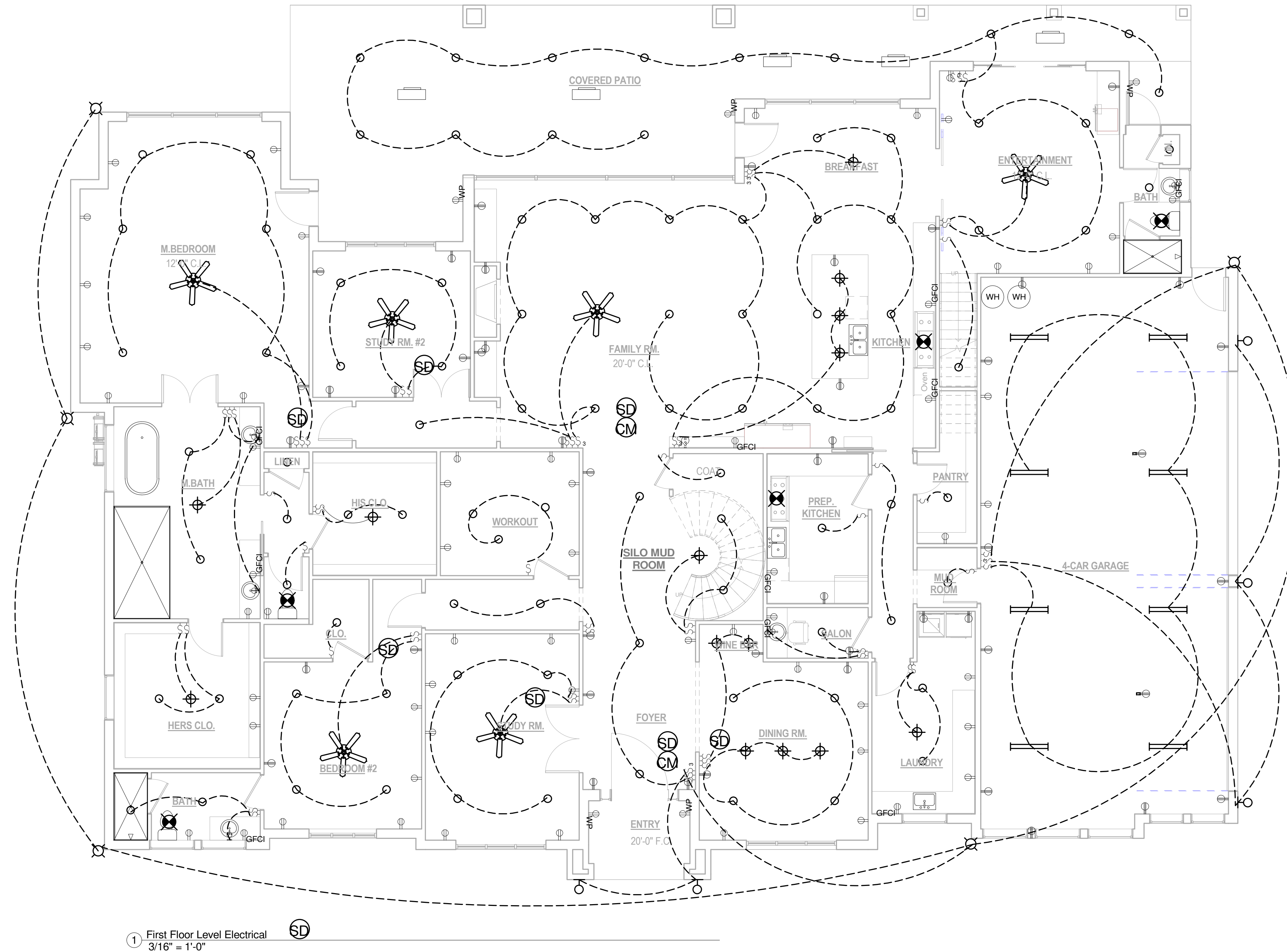
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SA
CHECKED BY:
SA

DATE
03/02/2024
SCALE
3/16" = 1'-0"
SHEET

A-7.0

ELECTRICAL LEGEND	
	CEILING FAN WITH LIGHT
	TV CONNECTION
	DATA JACK
	TELEPHONE JACK
	GFCI PROTECTED OUTLET
	STANDARD 110V OUTLET
	STANDARD 220V OUTLET
	PROGRAMMABLE THERMOSTAT
	LIGHT SWITCH
	3-WAY LIGHT SWITCH
	CEILING MOUND RADIANT HEATER
	ELECTRICAL PANEL
	WALL MOUNTED LIGHT FIXTURE
	FLOOD LIGHT FIXTURE
	RECESSED CEILING CAN
	PENDANT LIGHT FIXTURE
	VANITY LIGHT
	LED STRIP LIGHT
	FLUORESCENT LIGHT
	EXHAUST FAN
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	SECURITY CAMERA



1 First Floor Level Electrical
3/16" = 1'-0"

NO.	DESCRIPTION	BY	DATE

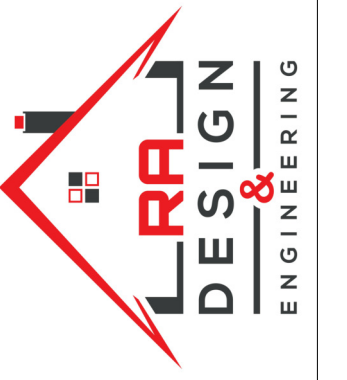
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**FIRST FLOOR
ELECTRICAL PLAN**

DESIGN BUILD CONTRACTOR:

PROJECT DETAILS:
Sean Babalola Residence
1972 Carter Lane, Gunter, Tx, 75078

DRAWN BY:	SA
CHECKED BY:	SA
DATE	03/02/2024
SCALE	3/16" = 1'-0"
SHEET	E-1.0

E-1.0



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
SECOND FLOOR ELECTRICAL

DESIGN BUILD CONTRACTOR:

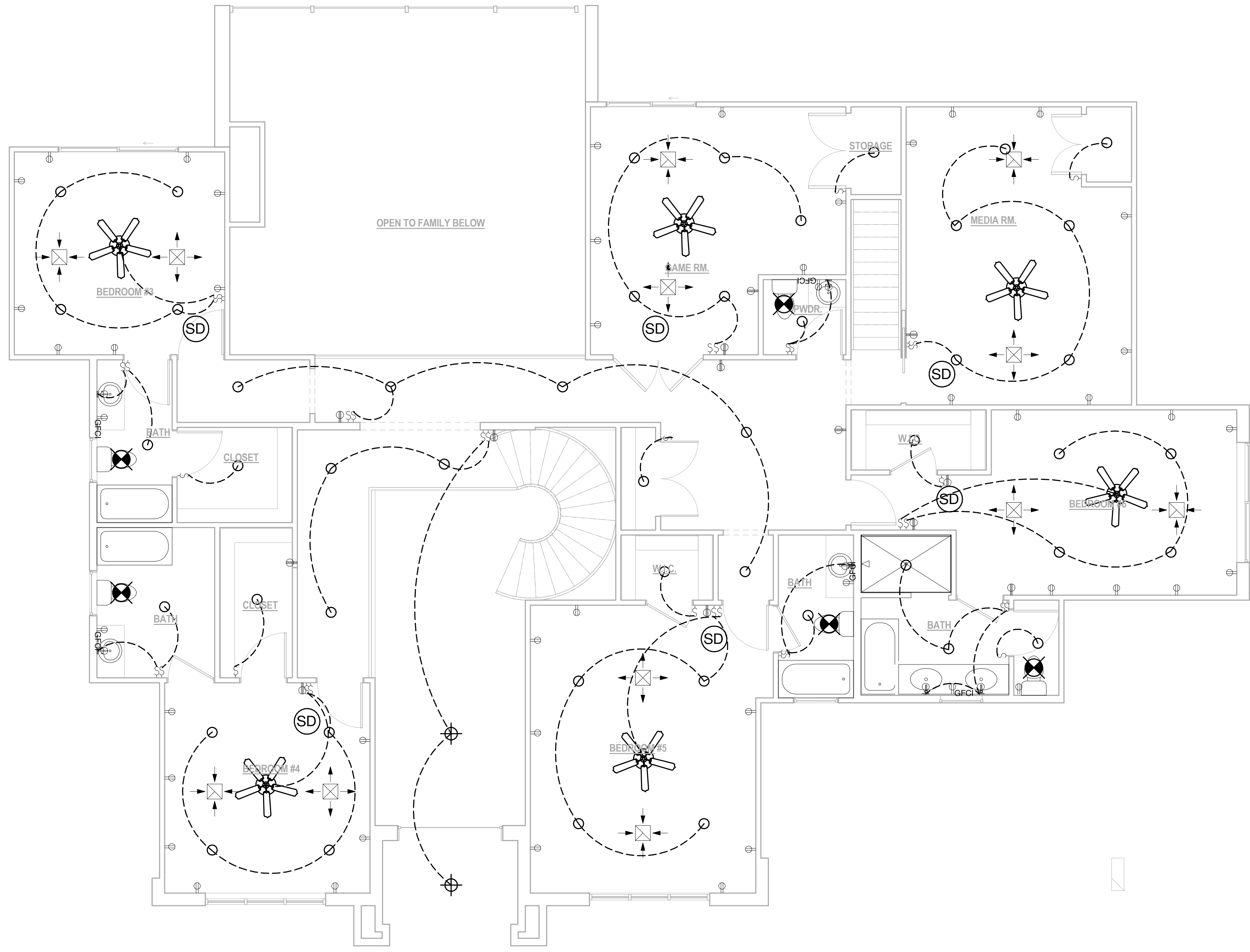
PROJECT DETAILS:
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DRAWN BY:
SA
CHECKED BY:
SA

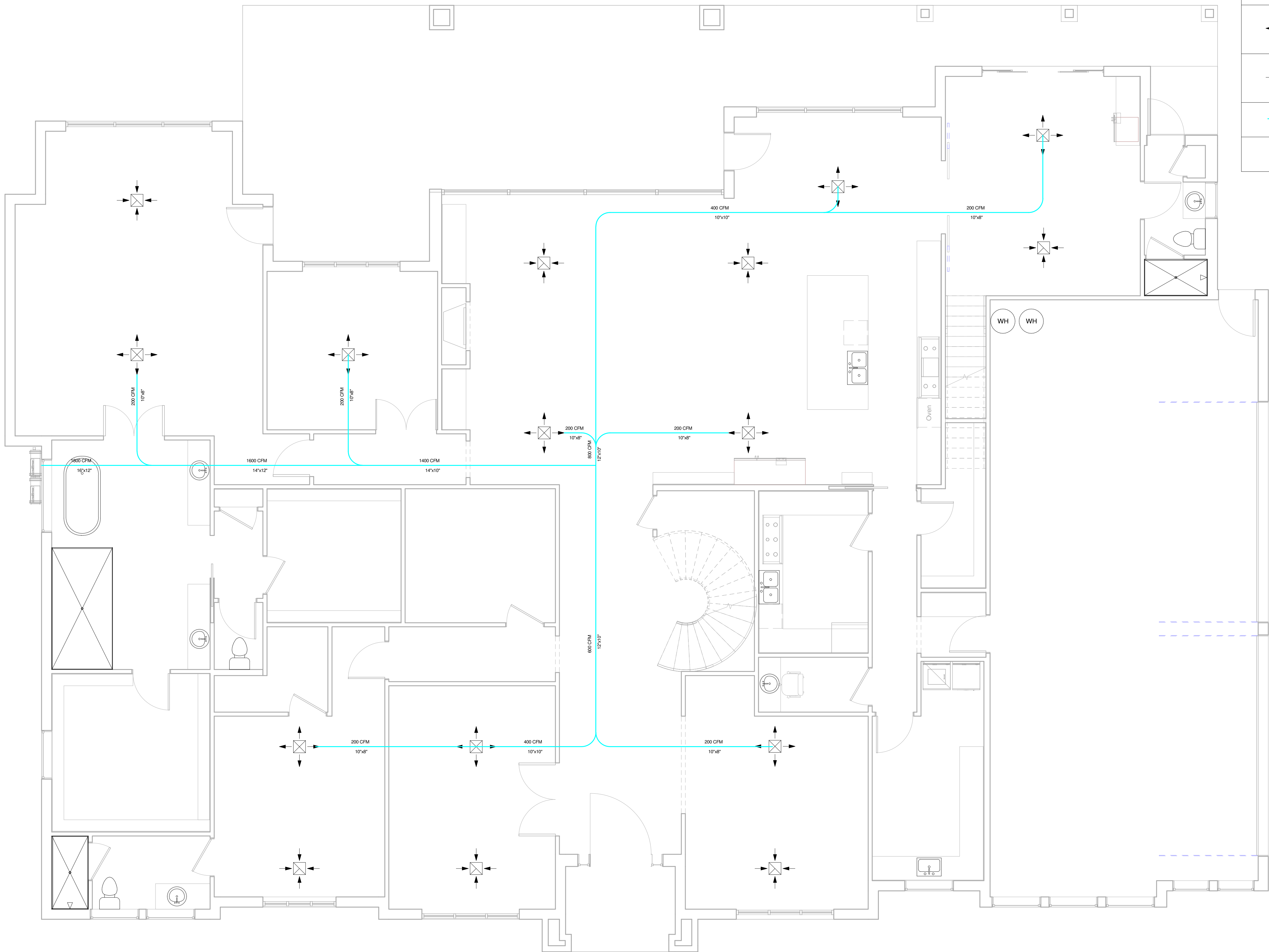
DATE
03/02/2024
SCALE
As indicated
SHEET

E-2.0

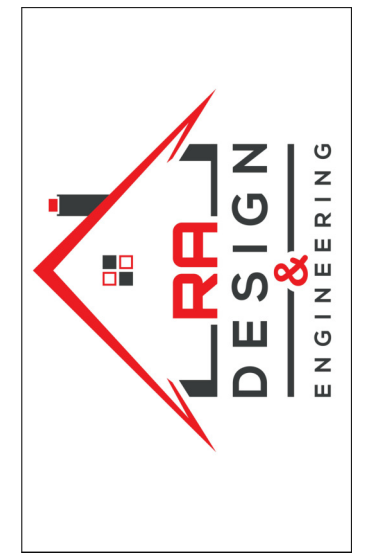
ELECTRICAL LEGEND	
	CEILING FAN WITH LIGHT
	TV CONNECTION
	DATA JACK
	TELEPHONE JACK
	GFCI PROTECTED OUTLET
	STANDARD 110V OUTLET
	STANDARD 220V OUTLET
	PROGRAMMABLE THERMOSTAT
	LIGHT SWITCH
	3-WAY LIGHT SWITCH
	CEILING MOUND RADIANT HEATER
	ELECTRICAL PANEL
	WALL MOUNTED LIGHT FIXTURE
	FLOOD LIGHT FIXTURE
	RECESSED CEILING CAN
	PENDANT LIGHT FIXTURE
	VANITY LIGHT
	LED STRIP LIGHT
	FLUORESCENT LIGHT
	EXHAUST FAN
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	SECURITY CAMERA



① Second Floor Electrical Plan
1/4" = 1'-0"



SYMBOL	DESCRIPTION
	MECHANICAL UNIT
	OUTDOOR CONDENSING UNIT
	SUPPLY AIR DIFFUSER ON CEILING
	RETURN AIR DIFFUSER ON CEILING
	AIR SUPPLY DUCT. SIZE IS SHOWN ON PLAN
	VENT



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
**FIRST FLOOR
HVAC**

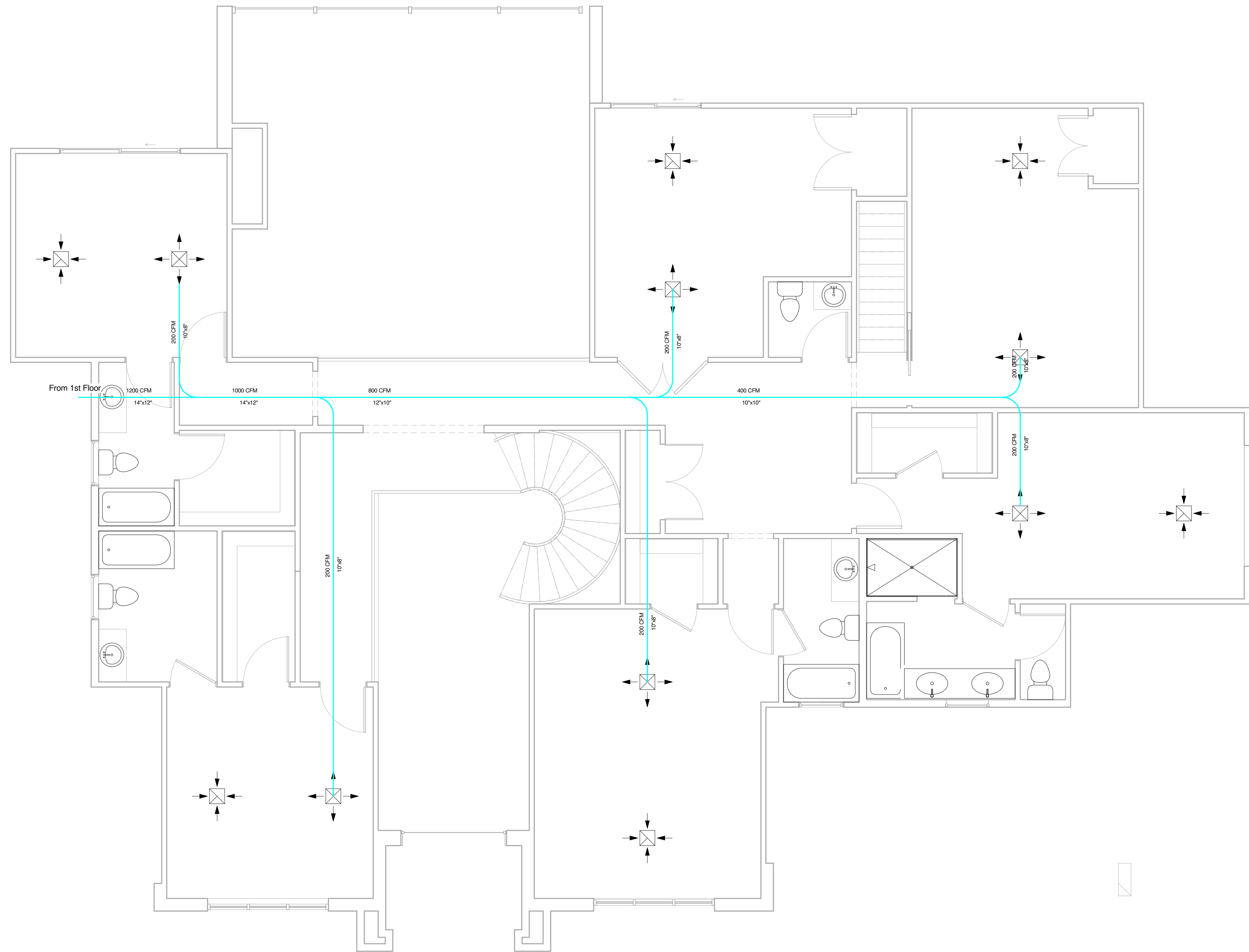
DESIGN BUILD CONTRACTOR:

PROJECT DETAILS:
Sean Babalola Residence
1972 Carter Lane, Gunter, Tx, 75078

DRAWN BY:
SA
CHECKED BY:
SA
DATE
03/02/2024
SCALE
1/4" = 1'-0"
SHEET

M-1.0

1 First Floor Level HVAC
1/4" = 1'-0"



SYMBOL	DESCRIPTION
	MECHANICAL UNIT
	OUTDOOR CONDENSING UNIT
	SUPPLY AIR DIFFUSER ON CEILING
	RETURN AIR DIFFUSER ON CEILING
	AIR SUPPLY DUCK. SIZE IS SHOWN ON PLAN
	VENT



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
**SECOND FLOOR
HVAC**

DESIGN BUILD CONTRACTOR:

PROJECT DETAILS:
Sean Babalola Residence
1972 Carter Lane, Gunter, Tx, 75078

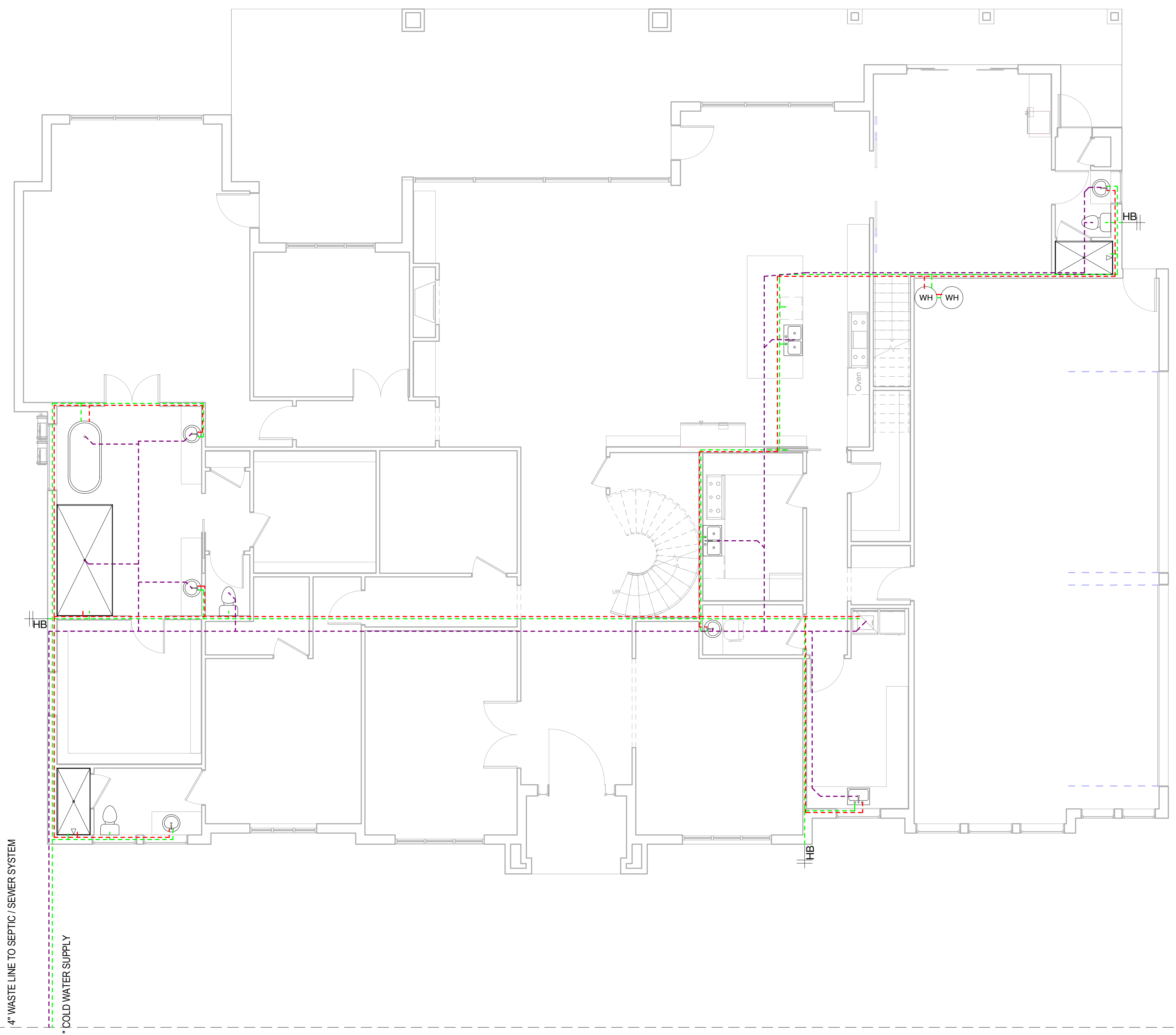
DRAWN BY:
SA
CHECKED BY:
SA

DATE
03/02/2024
SCALE
1/4" = 1'-0"
SHEET

M-2.0

① Second Floor HVAC
1/4" = 1'-0"

○ HVAC LEG
1/4" = 1'-0"



1/2" COLD WATER ---
 1/2" HOT WATER ---
 4" WASTE LINE ---
 TANKLESS WATER HEATER W.H.
 HOSE BIB

① First Floor Level Plumbing
3/16" = 1'-0"

- PLUMBING NOTES:**
1. PLUMBING SHALL MEET ALL LOCAL CODES.
 2. IF WATER HEATER IS LOCATED ANYWHERE, EXCEPT GARAGE OR BASEMENT, PROVIDE METAL DRAIN PAN WITH AUXILIARY DRAIN TO EXTERIOR.
 3. ALL WATER HEATERS SHALL BE VENTED AT TOPOUT.
 4. PROVIDE INSIDE MAIN WATER CUT-OFF.
 5. PROVIDE BLOCKING IF WALL PLATES OR JOISTS ARE CUT INTO.

NO.	DESCRIPTION	BY	DATE

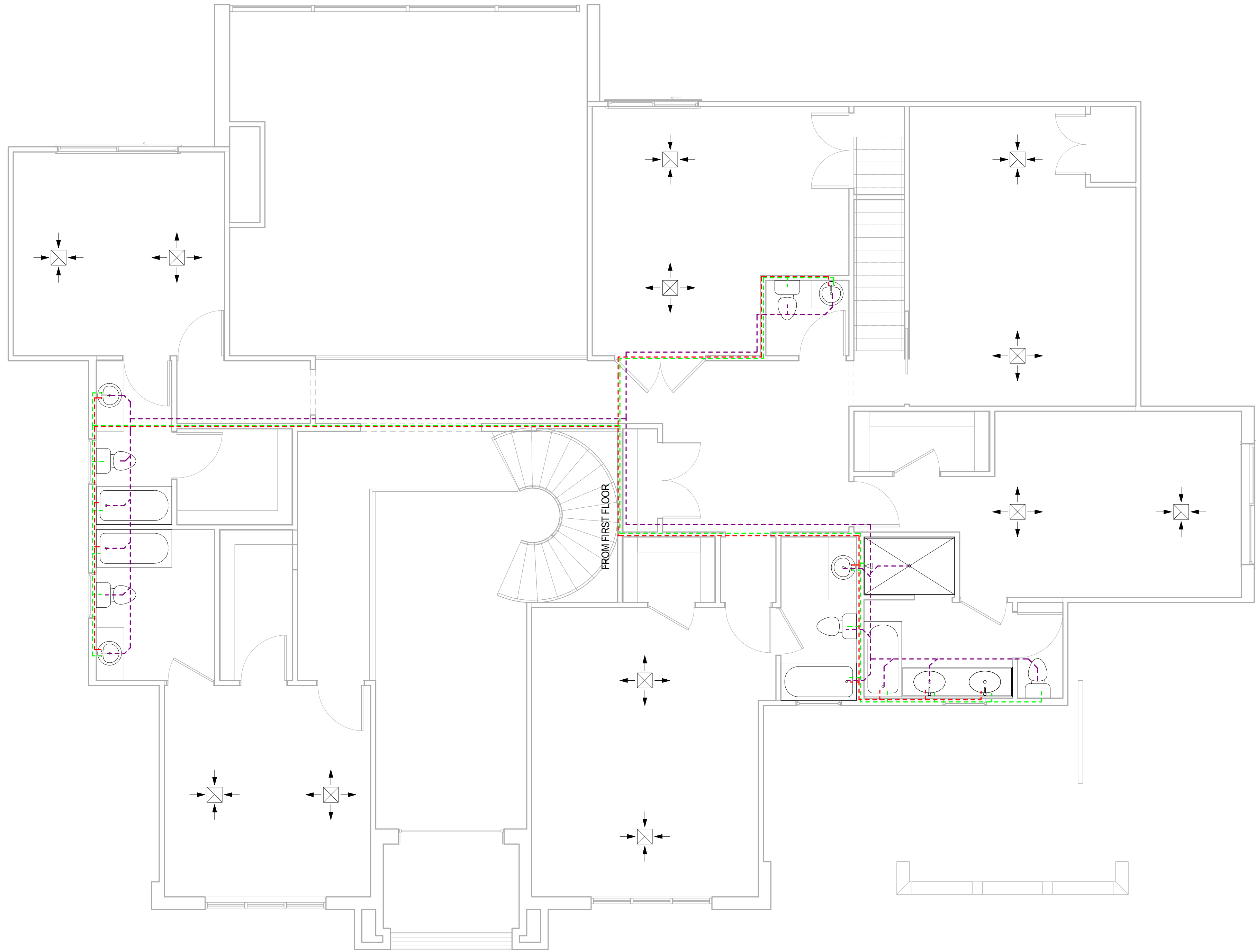
SHEET TITLE:
FIRST FLOOR PLUMBING

DESIGN BUILD CONTRACTOR:

PROJECT DETAILS:
Sean Babalola Residence
1972 Carter Lane, Gunter, Tx, 75078

DRAWN BY:	SA
CHECKED BY:	SA
DATE	03/02/2024
SCALE	As indicated
SHEET	

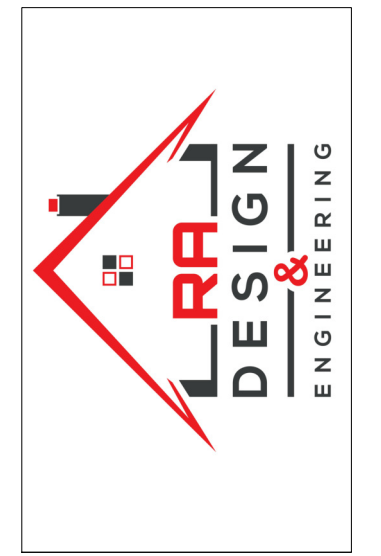
P-0.0



1/2" COLD WATER ---
 1/2" HOT WATER ---
 4" WASTE LINE ---
 TANKLESS WATER HEATER W.H.
 HOSE BIB HB

① Second Floor Plumbing Design
1/4" = 1'-0"

- PLUMBING NOTES:**
1. PLUMBING SHALL MEET ALL LOCAL CODES.
 2. IF WATER HEATER IS LOCATED ANYWHERE, EXCEPT GARAGE OR BASEMENT, PROVIDE METAL DRAIN PAN WITH AUXILLARY DRAIN TO EXTERIOR.
 3. ALL WATER HEATERS SHALL BE VENTED AT TOPOUT.
 4. PROVIDE INSIDE MAIN WATER CUT-OFF.
 5. PROVIDE BLOCKING IF WALL PLATES OR JOISTS ARE CUT INTO.



NO.	DESCRIPTION	BY	DATE

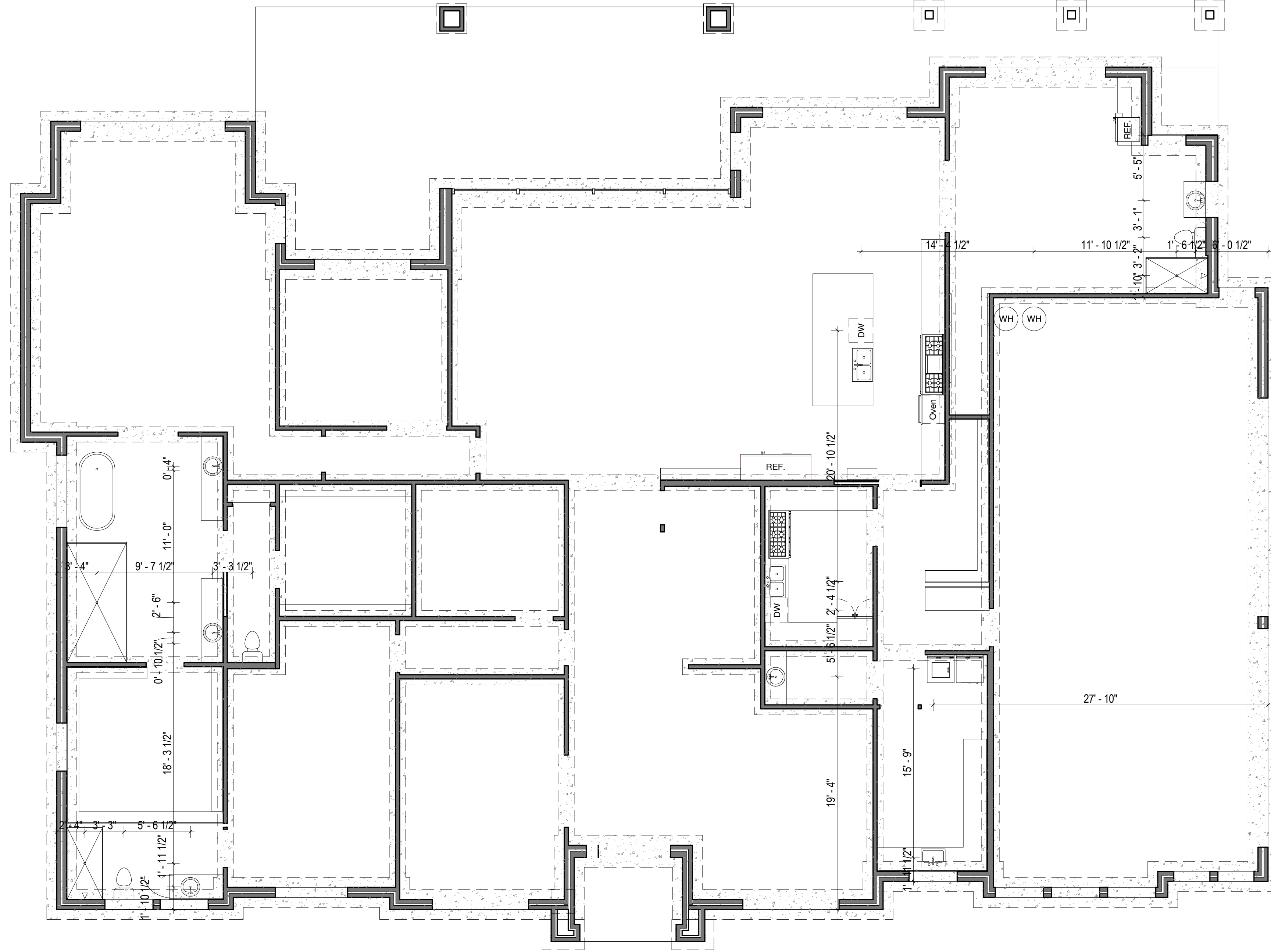
SHEET TITLE:
SECOND FLOOR PLUMBING

DESIGN BUILD CONTRACTOR:

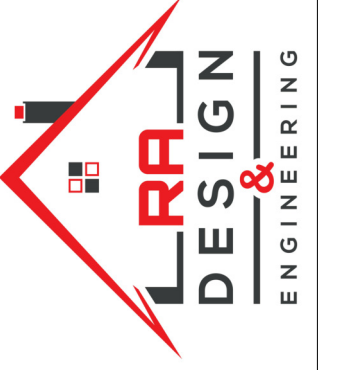
PROJECT DETAILS:
Sean Babalola Residence
1972 Carter Lane, Gunter, Tx, 75078

DRAWN BY:	SA
CHECKED BY:	SA
DATE	03/02/2024
SCALE	As indicated
SHEET	

P-1.0



① Plumbing
3/16" = 1'-0"



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
PLUMBING

DESIGN BUILD CONTRACTOR:

PROJECT DETAILS:
Sean Babalola Residence
1972 Carter Lane, Gunter, Tx, 75078

DRAWN BY:
SA
CHECKED BY:
SA

DATE
03/02/2024
SCALE
3/16" = 1'-0"
SHEET

P-2.0

NOTES AND SCHEDULE:

F1: 30"WX12"D CONTINUOUS FOOTING FOR THE 4" MONO. SLAB OR 2X6 STUD WALL .
#3/4 LONG WAY BOTTOM BARS CONT AND #4@18"OC BOTTOM BARS TRANSVERSE.

F2: 16"WX12"D CONTINUOUS FOOTING FOR THE 2X4 @16"OC STUD WALL ABOVE THE SILL PLATE AT MAIN LEVEL AND 2ND LEVEL. 2X4 SILL PLATE BY NEW SIMPSON STRAP@24"OC OR 5/8"D AND 7" LONG MINIMUM ANCHOR BOLT @32"OC. USE 2-1/2" DIA WASHER FOR THE ANCHOR BOLT.

F3: 20"WX12"D CONTINUOUS FOOTING FOR THE 2X4 @16"OC STUD WALL ABOVE THE SILL PLATE AT MAIN LEVEL AND 2ND LEVEL. 2X4 SILL PLATE BY NEW SIMPSON STRAP@24"OC OR 5/8"D AND 7" LONG MINIMUM ANCHOR BOLT @32"OC. USE 2-1/2" DIA WASHER FOR THE ANCHOR BOLT.

F2X2: 24"X24"X14" RCC FOOTINGS FOR 6X6 POST.

P1: WOOD POST 8X8 TYPICAL. USE ABWZ SIMPSON POST BASE FOR THE LATERAL RESISTANCE. AND USE SIMPSON BCS AT THE POST-BEAM CONNECTION. SEE ARCHITECTURAL FOR THE HEIGHT AND ELEVATION.

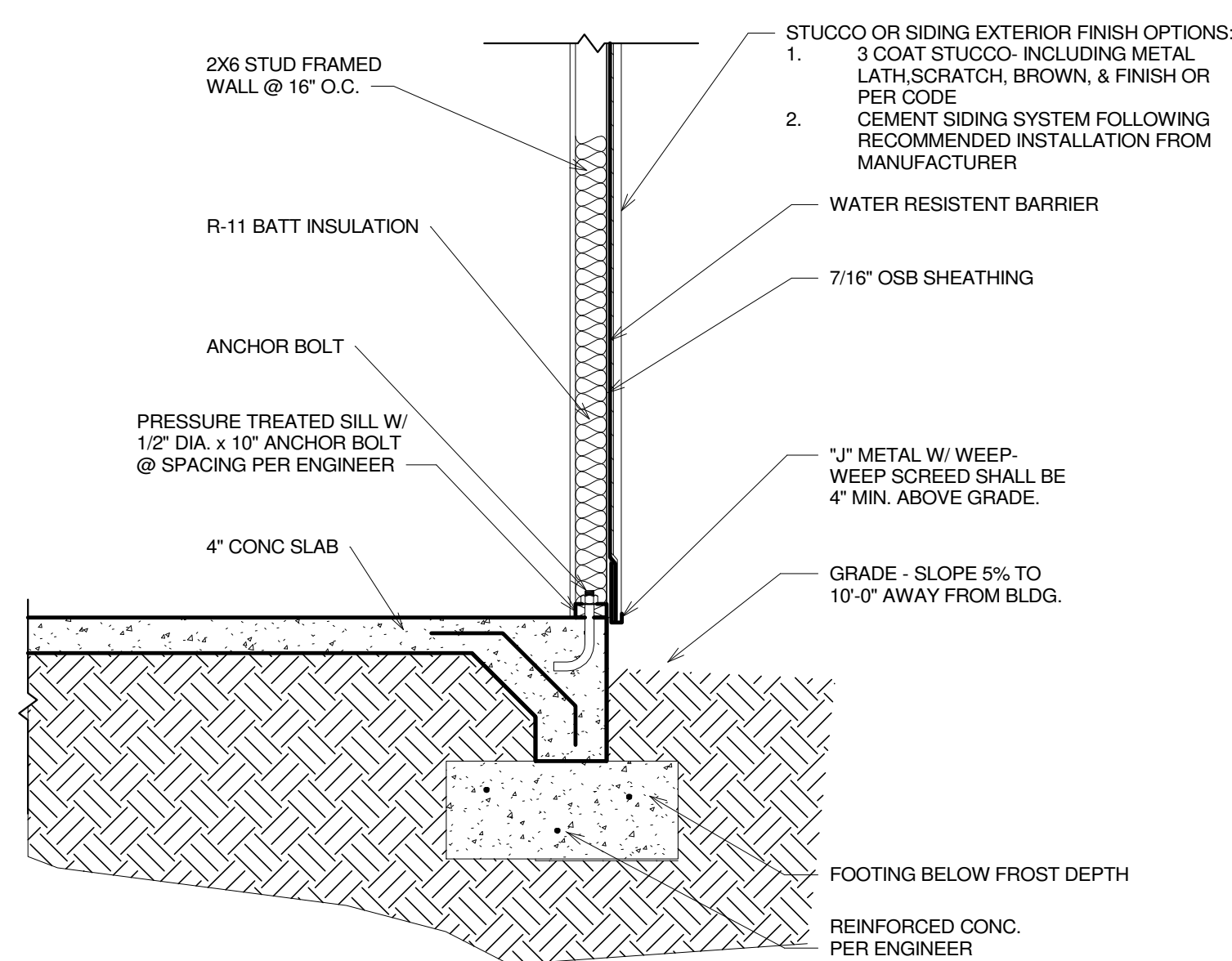
P2: 6X6 POSTS.

BC: BOX COLUMN, USE 6X6 POSTS AND BOX AROUND AND OR MAKE 4-2X4 AT 4-CORNERS AND 2X4@12"MAX AT INTERMEDIATE STUDS.FIELD VERIFY FOR THE HEIGHT AND ELEVATION AND THE BOX DECORATION.

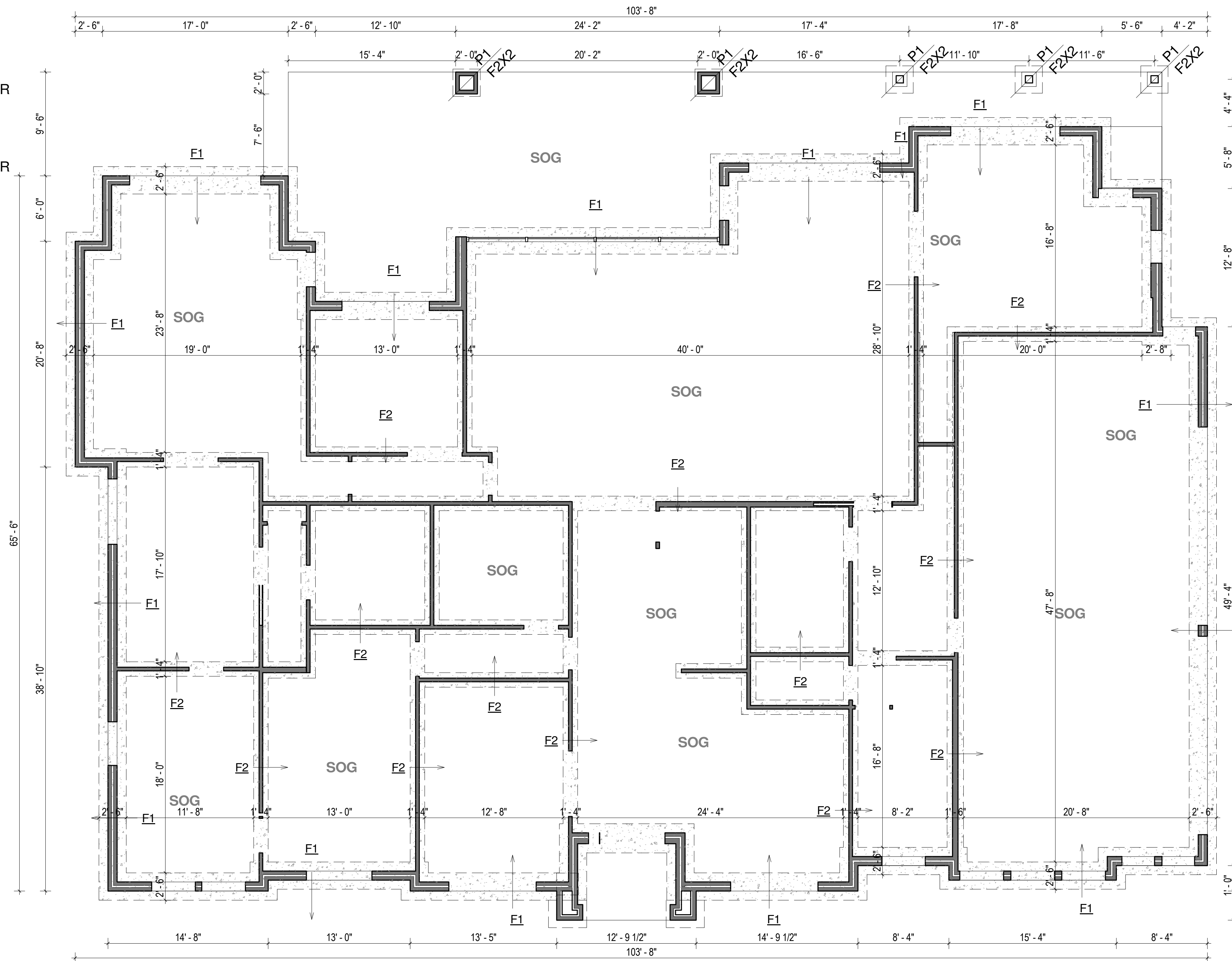
SOG: MONOLITHIC 4" SLAB ON GRADE WITH 6X6-W1.4/W1.4 W.W.F WIREMESH, VAPOR RETARDER AND MIN 4" #57 GRAVEL COMPACTED BEFORE POURING. SOG RAISED 3' FROM GRADE PLAN.

SITE DRAINAGE:

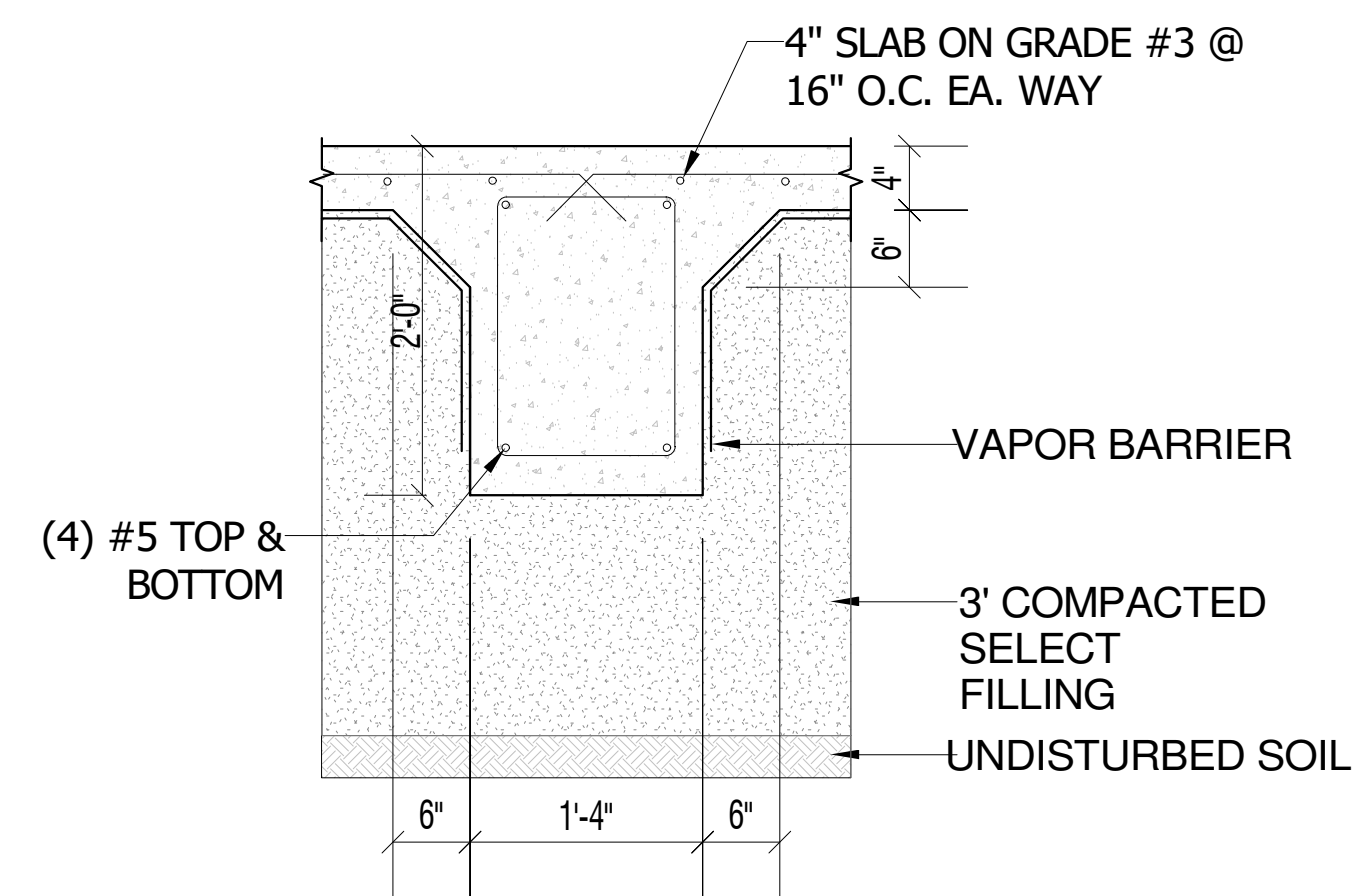
IT IS RECOMMENDED THAT THE DRAINAGE BE WELL DEVELOPED. SURFACE WATER SHOULD BE DIRECTED AWAY FROM THE FOUNDATION SOILS. USE A MINIMUM SLOPE OF 2% WITHIN 10 FEET OF THE FOUNDATION, NO PONDING OF SURFACE WATER SHALL BE ALLOWED NEAR THE STRUCTURE DURING OR AFTER COMPLETION OF THE CONSTRUCTION AND THELANDSCAPING. THE BUILDER SHALL ADVISE THE OWNER OF THE SITE DRAINAGE REQUIREMENTS.



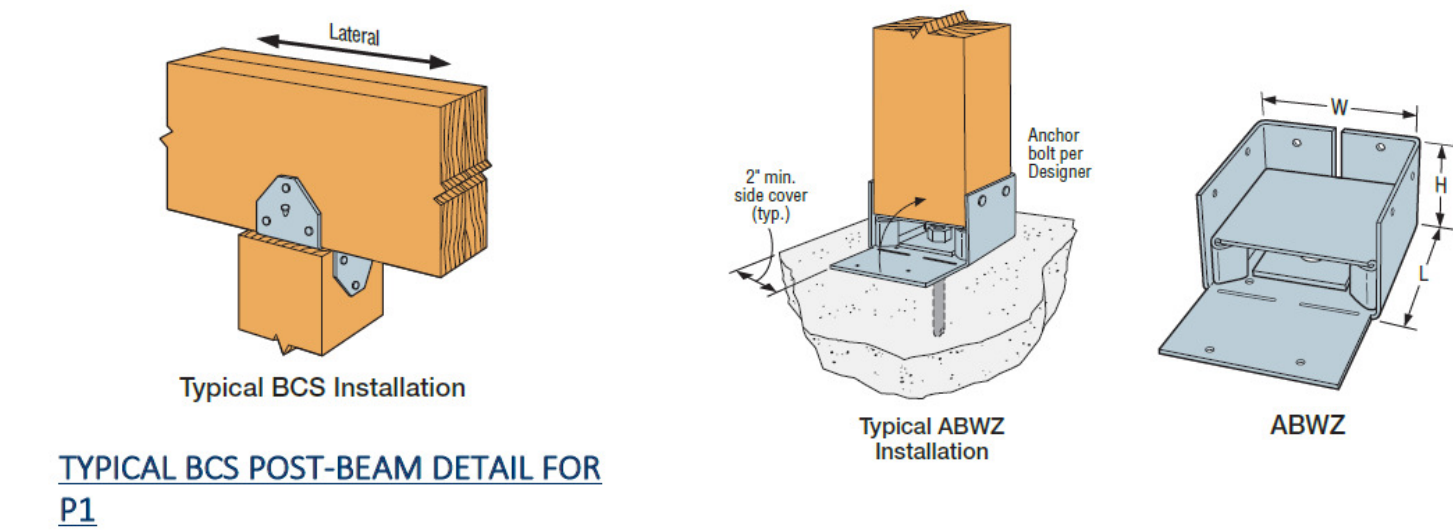
4 EXTERIOR WALL & FOOTING DETAIL
3/4" = 1'-0"



1 Foundation Plan
3/16" = 1'-0"

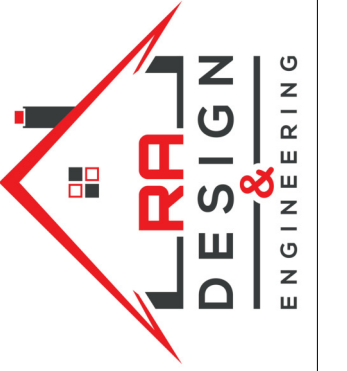


3 FOUNDATION DETAIL-F2
1" = 1'-0"



TYPICAL BCS POST-BEAM DETAIL FOR P1

NO. DESCRIPTION BY DATE	
SHEET TITLE: FOUNDATION PLAN & DETAILS	
DESIGN BUILD CONTRACTOR:	
PROJECT DETAILS:	Sean Babalola Residence
	1972 Carter Lane, Gunter, Tx, 75078
DRAWN BY:	SA
CHECKED BY:	SA
DATE:	03/02/2024
SCALE:	As indicated
SHEET:	S-1.0



ROOF FRAMING NOTES

1. MAIN ROOF OVERHANG IS 12" ON ALL SIDES.
2. 2X10 HEADER TO BE USED ON ALL ROOF ENDING RAFTERS.
3. ROOF SLOPE IS MENTIONED ON ROOF PLAN. PLEASE CONSULT.
4. HOUSE NEW ROOF TO MATCH EXISTING ROOF SPECS.
5. FASCIA AND GUTTER WILL BE USED AS LOCAL AND CODE REQUIREMENT..
6. CONTRACTOR TO VERIFY BEAM SIZE AND PLACEMNT.
7. ALL METAL CONNECTORS TO BE SIMPSON STRON TIE OR EQUIVALENT.
8. ROOF INSULATION, SHEATS AND OTHER MATERIALS TO BE SELECTED BY THE BUILDER AS REQUIRED.
9. FRAMER RESPONSIBLE FOR ENSURE ALL DIMENSIONS.
10. ALL FRAMING TO BE INCNFORMANCE WITH 2018 EDITION OF INTERNATIONAL RESIDENTIAL CODE.
11. BEAM SPCE TO BE DECIDED AND VERIFIED BY CONTRACTOR AT THE SITE.

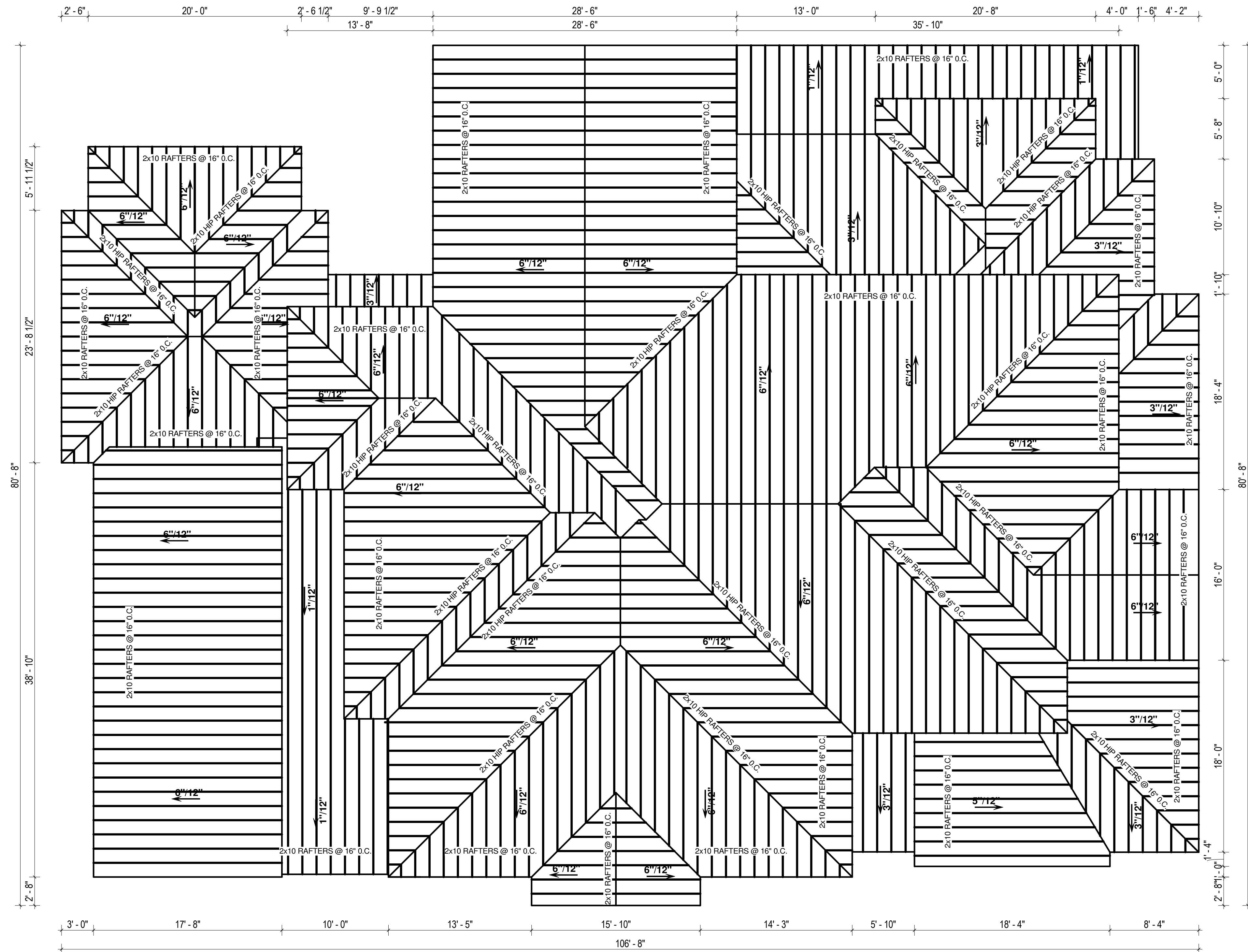
NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
ROOF FRAMING

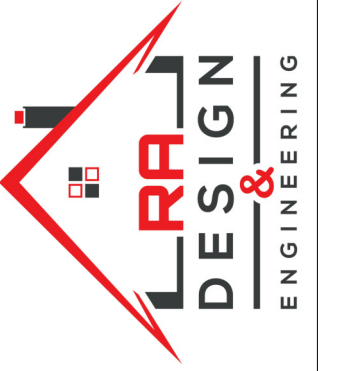
DESIGN BUILD CONTRACTOR:

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1972 Carter Lane, Gunter, Tx, 75078

DRAWN BY:	SA
CHECKED BY:	SA
DATE	03/02/2024
SCALE	3/16" = 1'-0"
SHEET	S-2.0

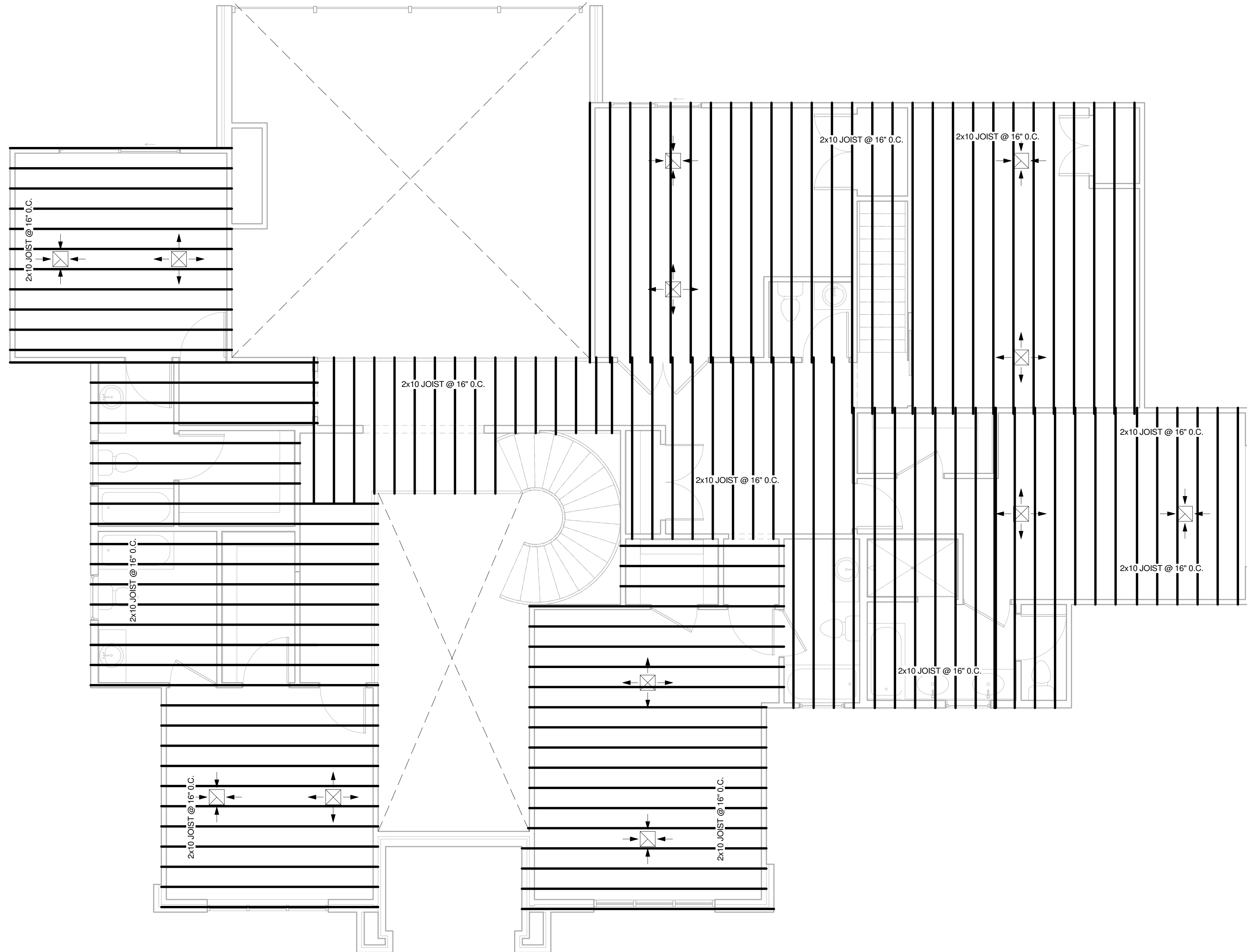


1 Roof Plan Framing
3/16" = 1'-0"



FLOOR FRAMING NOTES

1. ALL HEADRES TO BE 2-2X12 UNLESS OTHERWISE NOTED.
2. 2X10 JOISTS WILL BE PRESSURE TREATED SOUTHERN YELLOW PINE.
3. ALL LUMBER WILL BE 2 SOUTHERN YELLOW PINE.
4. ALL INTERIOR WALLS ARE WITH 2X4 DOUBLE PLATE AT TOP AND BOTTOM.
5. PROVIDE SOLID 2X12 RIM JOISTS AT END OF ALL FLOOR JOISTS WITH DIMENSION LUMBER FLOOR JOISTS.
6. ALL METAL CONNECTORS TO BE SIMPSON STRON TIE OR EQUIVALENT.
7. ALL INTERIOR WALLS TO BE FRAMED WITH 2X4 STUDS AT 16" O.C WITH DOUBLE TOP AND SINGLE BOTTOM PLATE.
8. FLOOR SHEATHING TO BE MINIMUM 3/4" T&G PLYWOOD GLUED AND NAILED.
9. FRAMER RESPONSIBLE FOR MISSING HEATING AND PLUMBING RUNS.
10. ALL FRAMING TO BE IN CONFORMANCE WITH 2018 EDITION OF INTERNATIONAL RESIDENTIAL CODE.
11. BEAM SPACES TO BE DECIDED AND VERIFIED BY CONTRACTOR AT THE SITE.



1 Floor Framing Plan
1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
FLOOR FRAMING

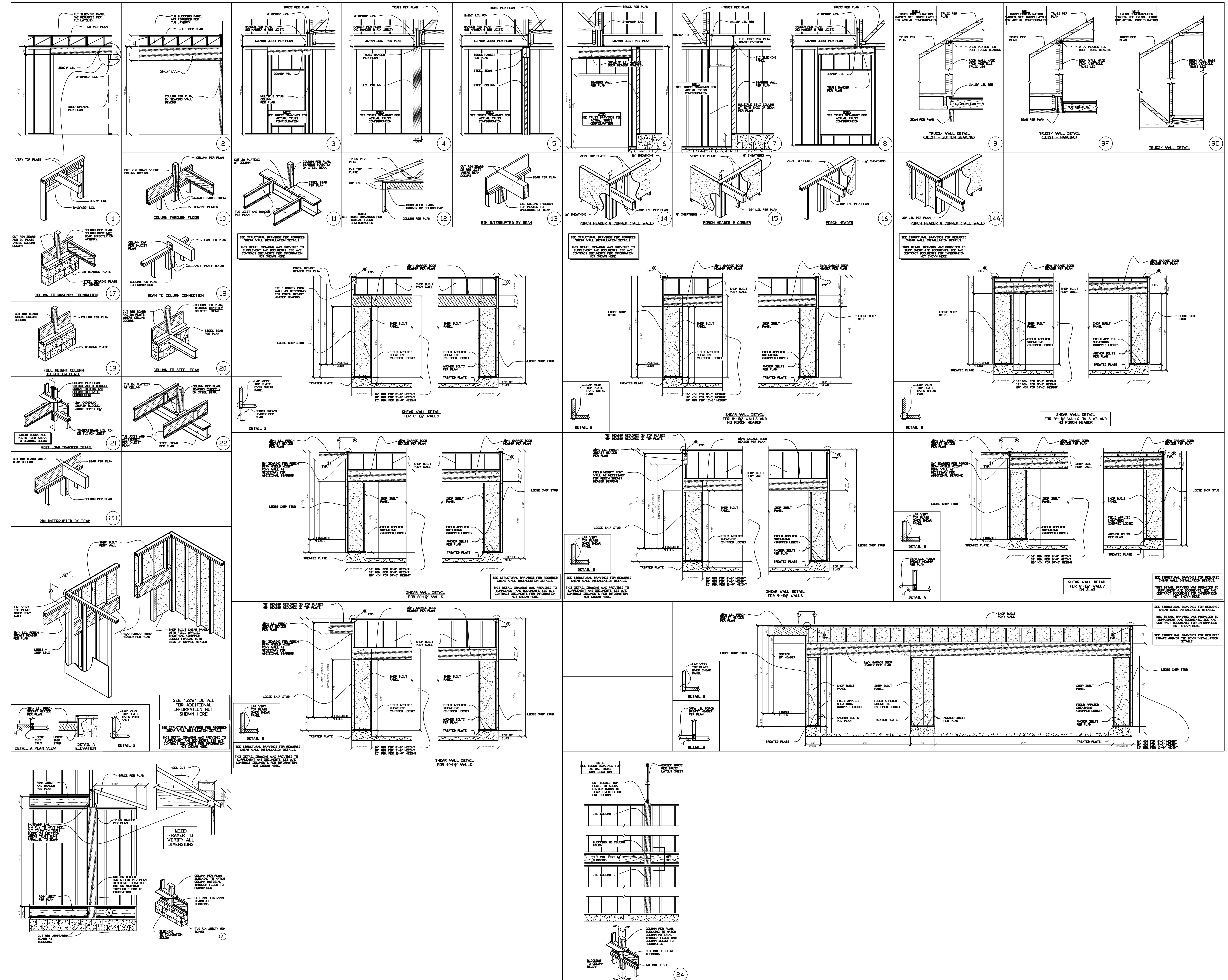
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CHECKED BY:
SA

DATE
03/02/2024
SCALE
1/4" = 1'-0"

SHEET
S-3.0



1 TYPICAL FRAMING DETAILS
1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
**TYPICAL FRAMING
DETAILS**

DESIGN BUILD CONTRACTOR:

PROJECT DETAILS:
Sean Babalola Residence
1972 Carter Lane, Gunter, Tx, 75078

DRAWN BY:
SA
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SA
DATE
03/02/2024
SCALE
1/4" = 1'-0"
SHEET

S-4.0